



VIEW ALONG CLAREMONT ①

SCALE: NTS



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants, drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this documentation shall not authorize any other person to use ARC TEC or ARC TEC consultants' drawings, reports, specifications, reports, electronic data and other documentation in any form or for any purpose without the prior written consent of ARC TEC. The user's possession of this document shall constitute no warranty, express or implied, by ARC TEC or ARC TEC consultants. The user's possession of this document shall constitute no warranty, express or implied, by ARC TEC or ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Written consent on the drawing shall have precedence over any typed disclaimer. DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

RENDERING

A 0.02

PROJECT NO: 215293



AERIAL VIEW LOOKING ACROSS 3RD AVENUE

1

SCALE: NTS

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 435 E THIRD AVENUE
 SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

RENDERING

A 0.03

PROJECT NO: 215293



ARC TEC
 ARCHITECTURAL TECHNOLOGIES
 www.arctecinc.com

Arizona
 2960 East Northern Avenue, Building C
 Phoenix, AZ 85028 602.953.2355

California
 1731 Technology Drive, Suite 750
 San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this documentation shall not reproduce, copy, disseminate, or otherwise use ARC TEC or ARC TEC consultants' drawings or reports without ARC TEC's written permission. ARC TEC shall be held harmless for any and all liability to ARC TEC and ARC TEC consultants. The user's possession of this document shall constitute an acknowledgment of the user's liability to ARC TEC and ARC TEC consultants. ARC TEC and ARC TEC consultants and agents and employees shall not be liable for any damages, losses, or expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Where dimensions on the drawing shall have precedence over any scaled dimension, DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:



VIEW AT SIDEWALK ALONG CLAREMONT

1

SCALE: NTS



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this documentation shall not reproduce or otherwise use any other portion of the ARC TEC or ARC TEC consultants' drawings or reports, without the written permission of ARC TEC or ARC TEC consultants. The "user" in possession of this documentation shall indemnify and hold harmless ARC TEC and ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from the use of ARC TEC or ARC TEC consultants' instruments of service. Written consent on the drawing shall have precedence over any scaled dimension. DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

RENDERING

A0.07

PROJECT NO: 215293



REFERENCE SITE PLAN

SCALE: NTS



4 PARKING LOT



5 RESTAURANT



1 RESIDENTIAL BUILDING



2 COMMERCIAL BUILDING



7 OFFICE/RESIDENTIAL BUILDING



6 COMMERCIAL BUILDING



3 COMMERCIAL BUILDING



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this document shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' drawings or reports without ARC TEC's written authorization. ARC TEC shall be held harmless ARC TEC and ARC TEC's consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Written consent on the drawing shall have precedence over any written dimension. DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018
In Association with:

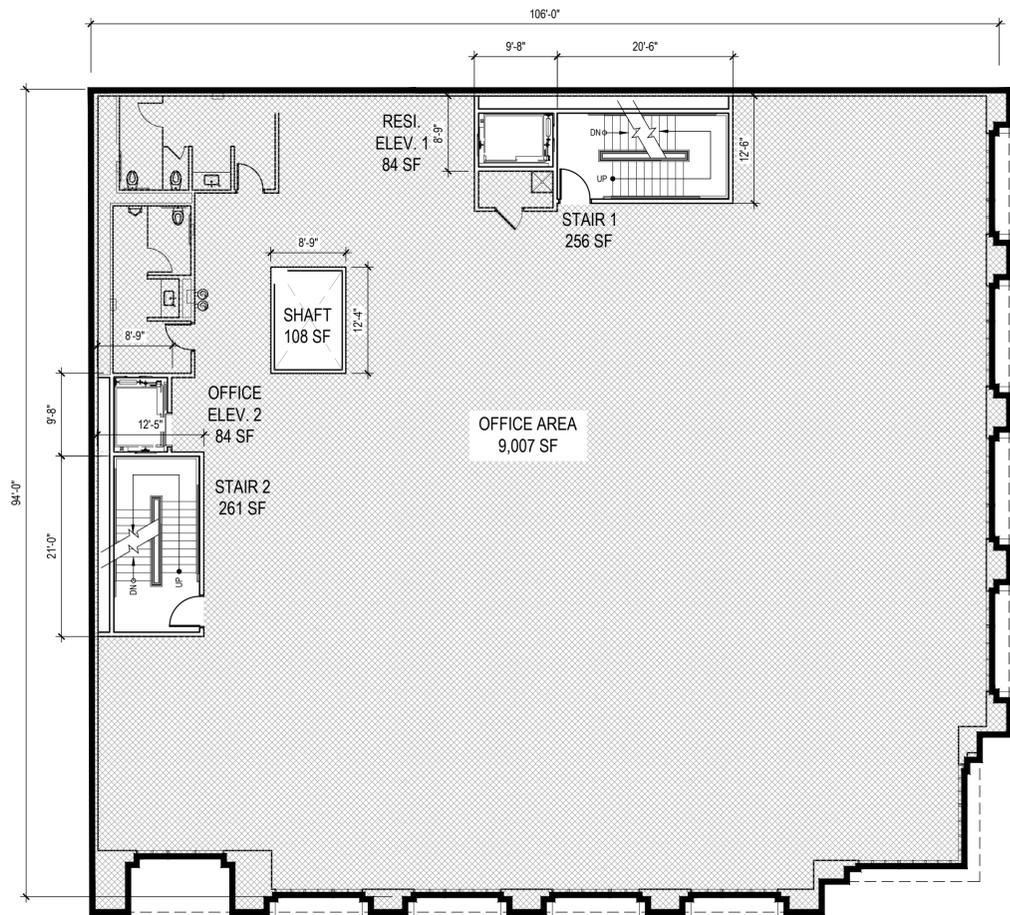
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

NEIGHBORHOOD CONTEXT

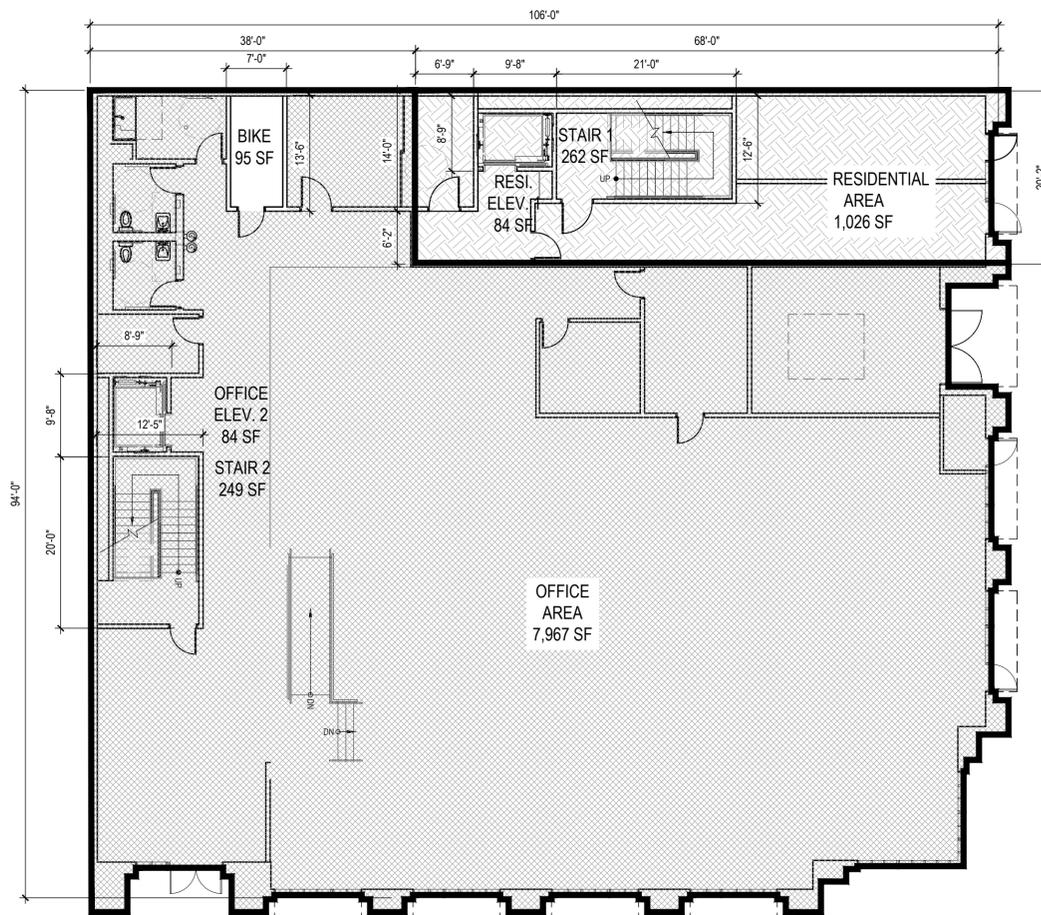
A 0.08

PROJECT NO: 215293



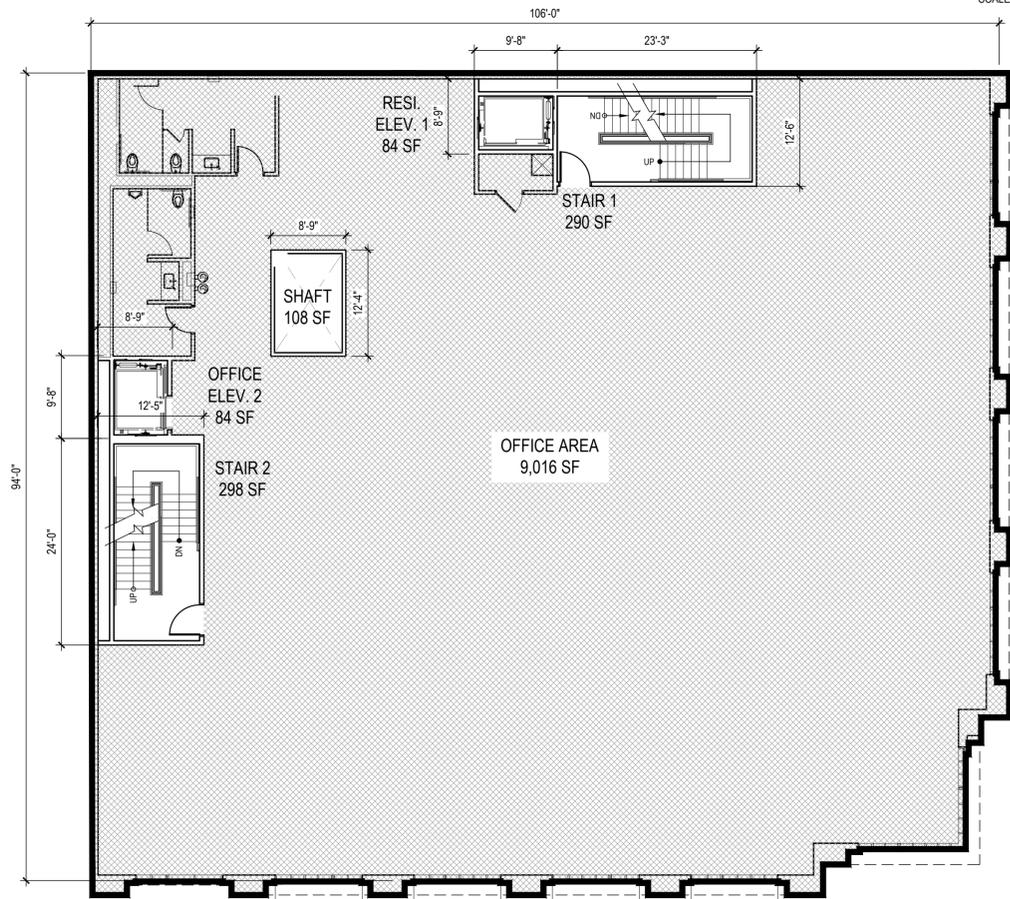
SECOND LEVEL AREA PLAN

SCALE: 3/32" = 1'-0"



FIRST LEVEL AREA PLAN

SCALE: 3/32" = 1'-0"



THIRD LEVEL AREA PLAN

SCALE: 3/32" = 1'-0"

PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	7,967 SQ. FT.
STAIR #2 (OFFICE)	249 SQ. FT.
OFFICE ELEVATOR 2	84 SQ. FT.
TOTAL:	8,300 SQ. FT.

SECOND LEVEL	
OFFICE AREA	9,007 SQ. FT.
SHAFT	108 SQ. FT.
TOTAL :	9,115 SQ. FT.

THIRD LEVEL	
OFFICE AREA	9,016 SQ. FT.
TOTAL :	9,016 SQ. FT.

FOURTH LEVEL	
OFFICE AREA	7,206 SQ. FT.
TOTAL :	7,206 SQ. FT.

FIFTH LEVEL	
NO OFFICE AREA	

BICYCLE PARKING REQUIRED
(PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE SECTION 27.64.262)

GENERAL OFFICE:
1 SHORT-TERM SPACE PER 20,000 S.F.
33,529 S.F. / 20,000 S.F. = 2 SPACES

1 LONG-TERM SPACE PER 10,000 S.F.
33,529 S.F. / 10,000 S.F. = 4 SPACES

RESIDENTIAL:
1/5 SHORT-TERM SPACES PER UNIT
5 UNITS * .05 = 1 SPACE

1 LONG-TERM SPACE PER UNIT
5 UNITS * 1 = 5 SPACES

TOTAL SHORT-TERM SPACES: 3 SPACES
TOTAL LONG-TERM SPACES: 9 SPACES

BICYCLE PARKING PROVIDED:
3 SHORT-TERM SPACES
9 LONG-TERM SPACES

FAR FLOOR AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	7,967 SQ. FT.
RESIDENTIAL SPACE	1,026 SQ. FT.
STAIR #1 (RESI.)	262 SQ. FT.
STAIR #2 (OFFICE)	249 SQ. FT.
RESIDENTIAL ELEVATOR 1	84 SQ. FT.
OFFICE ELEVATOR 2	84 SQ. FT.
FLOOR AREA OFFICE*	8,300 SQ. FT.
FLOOR AREA RESIDENTIAL*	1,372 SQ. FT.

SECOND LEVEL	
OFFICE AREA:	9,007 SQ. FT.
FLOOR AREA OFFICE*:	9,007 SQ. FT.

THIRD LEVEL	
OFFICE AREA:	9,016 SQ. FT.
FLOOR AREA OFFICE*:	9,016 SQ. FT.

FOURTH LEVEL	
OFFICE AREA	7,206 SQ. FT.
FLOOR AREA OFFICE*:	7,206 SQ. FT.

FIFTH LEVEL	
RESIDENTIAL AREA	4,992 SQ. FT.
FLOOR AREA RESIDENTIAL*:	4,992 SQ. FT.

*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.
(1) Floor area is measured from the exterior facade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION

- OFFICE AREA
- RESIDENTIAL AREA
- AREAS EXCLUDED FROM FAR CALCULATIONS

TOTAL FAR FLOOR AREA OFFICE: 38,521 SQ.FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 6,364 SQ.FT.
TOTAL PARKING FLOOR AREA : 33,637 SQ.FT.



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultant drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultant drawings or reports without the written consent of ARC TEC. ARC TEC shall not be liable for any damages or losses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultant instruments of service. ARC TEC and ARC TEC consultants shall not be held harmless by ARC TEC or ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultant instruments of service. Written dimensions on the drawing shall have precedence over any scaled dimension. DO NOT SCALE DRAWINGS for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018
In Association with:

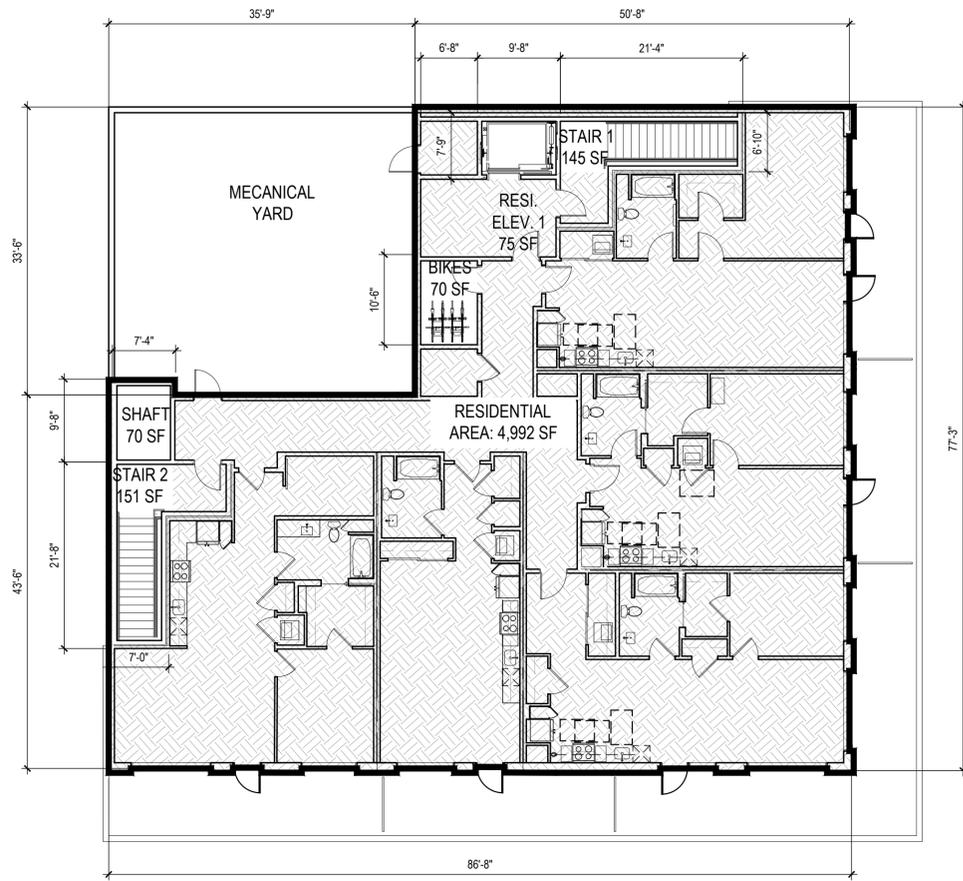
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM PLANNING SUBMITTAL
05.14.2021	PRELIM PLANNING REVISIONS
07.30.2021	PRELIM PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

PLANNING DEPARTMENT
AREA CALCULATIONS

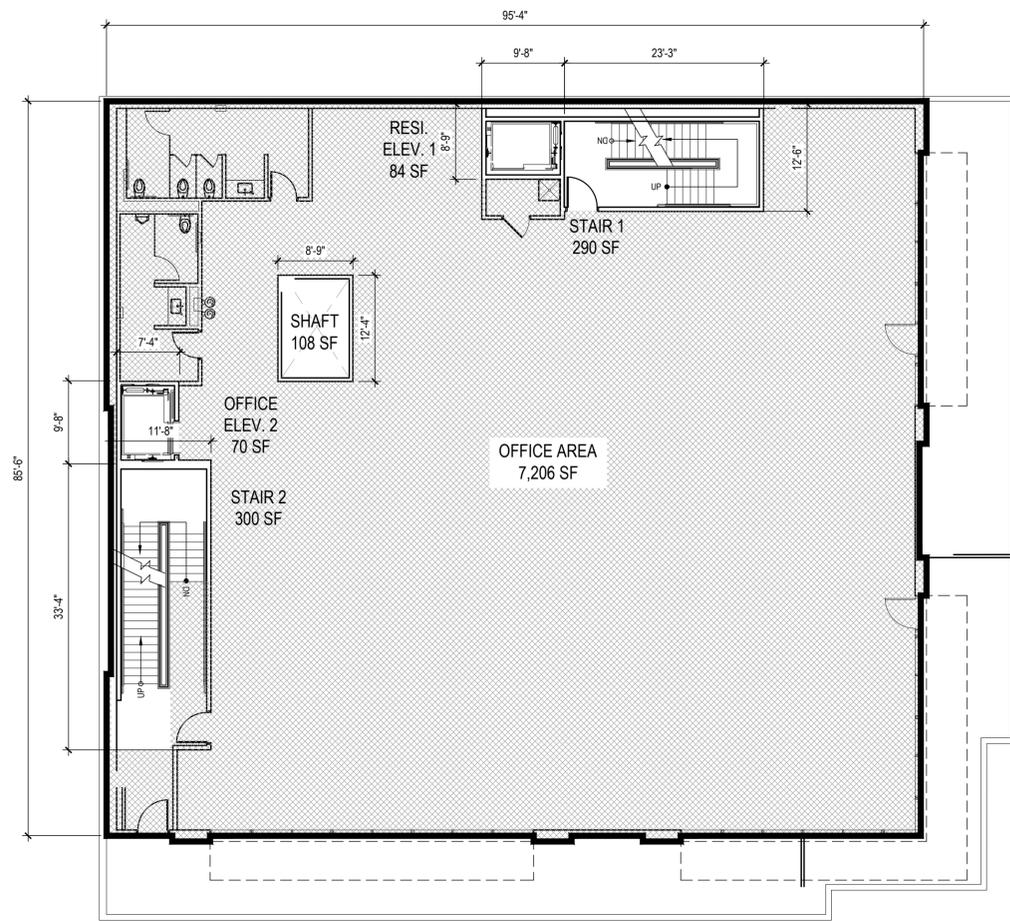
A 0.21

PROJECT NO: 215293



FIFTH LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH LEVEL AREA PLAN

SCALE: 3/32" = 1'-0"



PARKING ORDINANCE AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	7,967 SQ. FT.
STAIR #2 (OFFICE)	249 SQ. FT.
OFFICE ELEVATOR 2	84 SQ. FT.
TOTAL:	8,300 SQ. FT.
SECOND LEVEL	
OFFICE AREA	9,007 SQ. FT.
SHAFT	108 SQ. FT.
TOTAL :	9,115 SQ. FT.
THIRD LEVEL	
OFFICE AREA	9,016 SQ. FT.
TOTAL :	9,016 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	7,206 SQ. FT.
TOTAL :	7,206 SQ. FT.
FIFTH LEVEL	
NO OFFICE AREA	

BICYCLE PARKING REQUIRED
(PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE SECTION 27.64.262)

GENERAL OFFICE:
1 SHORT-TERM SPACE PER 20,000 S.F.
33,529 S.F. / 20,000 S.F. = 2 SPACES

1 LONG-TERM SPACE PER 10,000 S.F.
33,529 S.F. / 10,000 S.F. = 4 SPACES

RESIDENTIAL:
1/5 SHORT-TERM SPACES PER UNIT
5 UNITS * .05 = 1 SPACE

1 LONG-TERM SPACE PER UNIT
5 UNITS * 1 = 5 SPACES

TOTAL SHORT-TERM SPACES: 3 SPACES
TOTAL LONG-TERM SPACES: 9 SPACES

BICYCLE PARKING PROVIDED:
3 SHORT-TERM SPACES
9 LONG-TERM SPACES

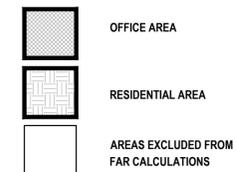
FAR FLOOR AREA CALCULATIONS

FIRST LEVEL	
OFFICE SPACE	7,967 SQ. FT.
RESIDENTIAL SPACE	1,026 SQ. FT.
STAIR #1 (RESI.)	262 SQ. FT.
STAIR #2 (OFFICE)	249 SQ. FT.
RESIDENTIAL ELEVATOR 1	84 SQ. FT.
OFFICE ELEVATOR 2	84 SQ. FT.
FLOOR AREA OFFICE*	8,300 SQ. FT.
FLOOR AREA RESIDENTIAL*	1,372 SQ. FT.
SECOND LEVEL	
OFFICE AREA:	9,007 SQ. FT.
FLOOR AREA OFFICE*:	9,007 SQ. FT.
THIRD LEVEL	
OFFICE AREA:	9,016 SQ. FT.
FLOOR AREA OFFICE*:	9,016 SQ. FT.
FOURTH LEVEL	
OFFICE AREA	7,206 SQ. FT.
FLOOR AREA OFFICE*:	7,206 SQ. FT.
FIFTH LEVEL	
RESIDENTIAL AREA	4,992 SQ. FT.
FLOOR AREA RESIDENTIAL*:	4,992 SQ. FT.

TOTAL FAR FLOOR AREA OFFICE: 38,521 SQ. FT.
TOTAL FAR FLOOR AREA RESIDENTIAL: 6,364 SQ. FT.
TOTAL PARKING FLOOR AREA : 33,637 SQ. FT.

*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in r1 zoning districts.
(1) Floor area is measured from the exterior facade of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).
(2) Exclusions. The following are not counted as floor area:
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;
(C) Covered walkways and balconies;
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;
(E) Bicycle parking facilities;
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mariner's Island Specific Plan or the Bay Meadows Specific Plan.

FAR AREA DESIGNATION



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this documentation acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all intellectual property contained in this documentation. The "user" in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' drawings, reports, specifications, reports, electronic data and other documentation in any way without the written consent of ARC TEC and ARC TEC consultants. The user's possession of this documentation shall constitute no warranty, express or implied, by ARC TEC and ARC TEC consultants and agents and employees hereof against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Written consent on the drawing shall have precedence over any verbal agreement. DO NOT SCALE THIS DRAWING for accurate dimensions and note ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

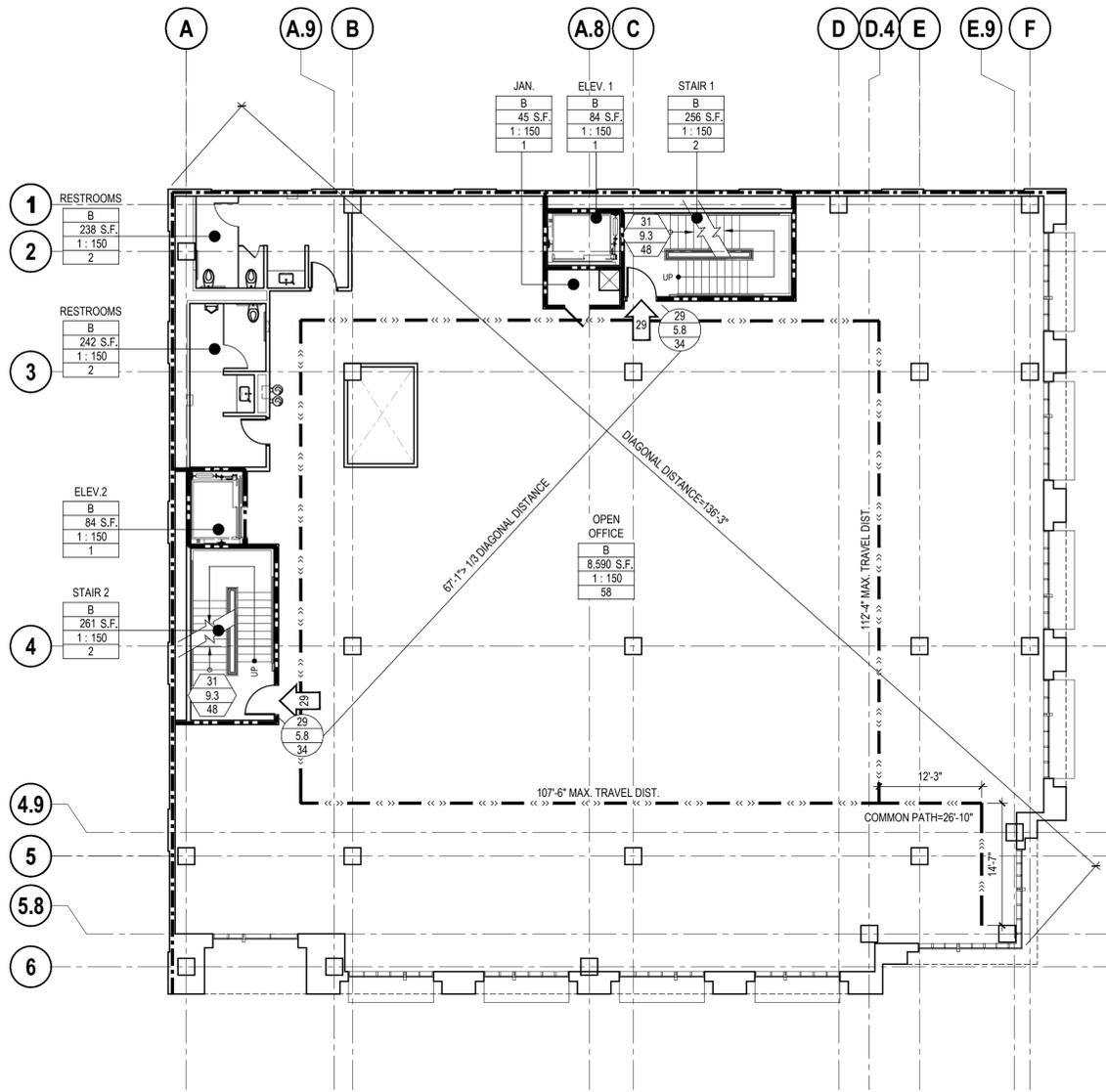
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

PLANNING DEPARTMENT
AREA CALCULATIONS

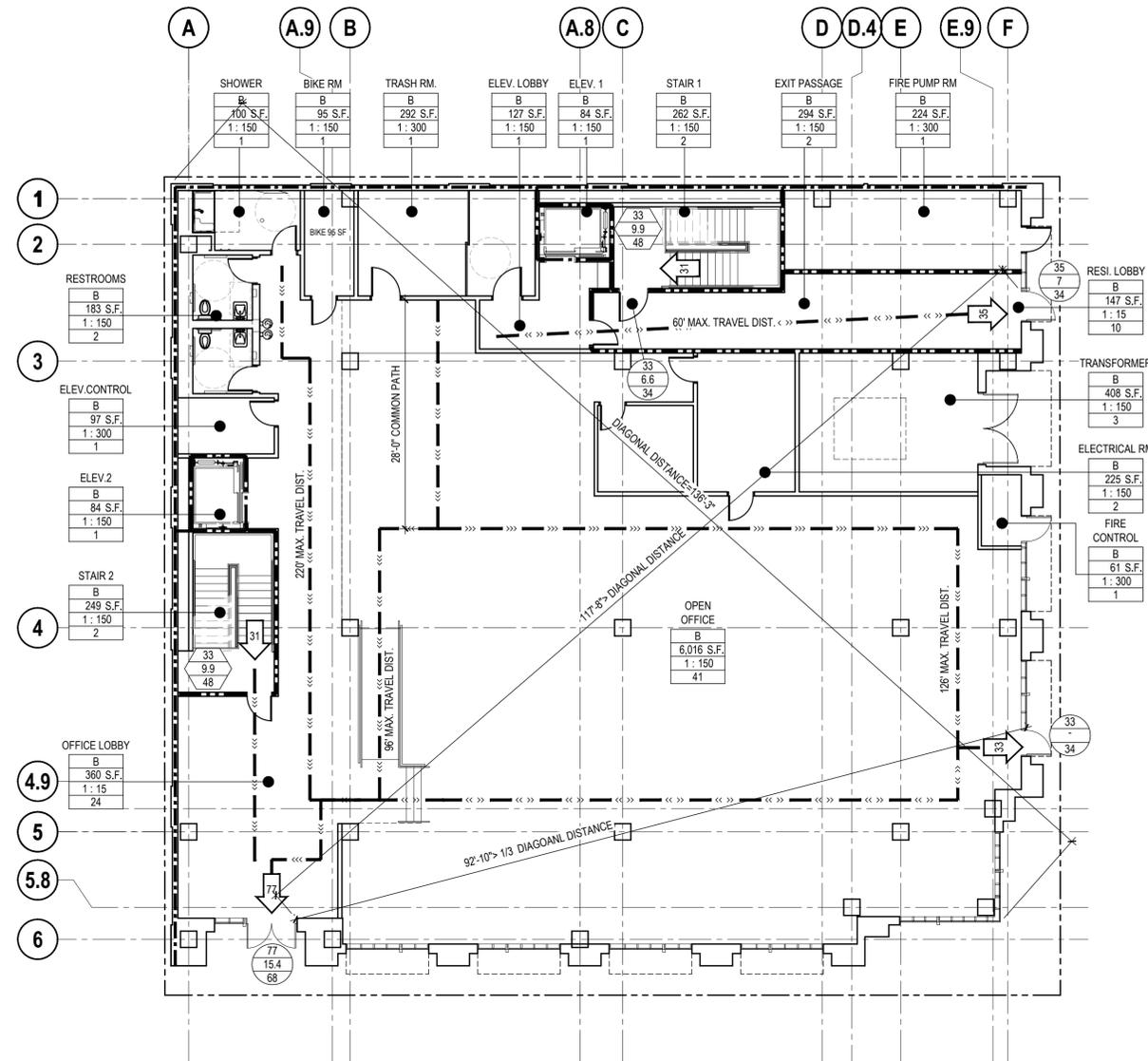
A 0.22

PROJECT NO: 215293



SECOND LEVEL AREA PLAN

SCALE: 3/32 = 1'-0"



FIRST LEVEL AREA PLAN

SCALE: 3/32 = 1'-0"



SYMBOL KEY

AREA OCCUPANT LOAD DESIGNATION

ROOM NAME	OCCUPANCY CLASSIFICATION OF THE SPACE	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS
B		12,444 S.F.	1: 150	

DOORWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED
100	20.0	34

STAIRWAY OCCUPANT LOAD DESIGNATION

NUMBER OF OCCUPANTS	STAIR WIDTH REQUIRED (INCHES)	STAIR WIDTH PROVIDED (INCHES)
100	30.0	60

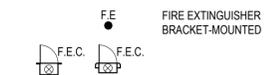
PATH OF TRAVEL DESIGNATION

Exit in one direction	Exit in both directions
-----------------------	-------------------------

DIRECTION OF EGRESS/OCCUPANT LOAD DESIGNATION



FIRE EXTINGUISHERS AND FIRE HOSES



EXIT SIGNAGE DESIGNATION



RATED SEPARATION DESIGNATION



EXITING WIDTH TABULATIONS

EXIT WIDTH REQUIRED IS 0.3' PER PERSON FOR STAIRS AND 0.2' PER DOORS AND OTHER EXIT ELEMENTS, PER CBC SECTION 1005.3.



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.artctec.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultant drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "user" in possession of this documentation shall not reproduce, copy, modify, or otherwise use ARC TEC or ARC TEC consultant's work without the prior written consent of ARC TEC or ARC TEC consultant. The user's possession of this documentation shall constitute no warranty of any kind, and ARC TEC and ARC TEC consultants shall not be liable for any damages, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultant's work. Written consent on the drawing shall have precedence over any stated disclaimer. DO NOT SCALE DRAWINGS for accurate dimensions and verify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E. THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING SUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

EGRESS DIAGRAMS

A 0.32

PROJECT NO: 215293



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com

Arizona
2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants, drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all the information. The "user" in possession of this document shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' information of service. ARC TEC and ARC TEC's information shall be used only at the user's sole risk and without liability to ARC TEC and ARC TEC's consultants. The user's possession of this document shall constitute and hold harmless ARC TEC and ARC TEC's consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC's consultants' information of service. Written dimensions on the drawing shall have precedence over any scaled dimension. DO NOT SCALE THIS DRAWING for accurate dimensions and note ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PROJECT DATA

ASSESSOR'S PARCEL NO.: 034181160
ZONING: CBD/S - CENTRAL BUSINESS SUPPORT
SITE AREA: 11,035 S.F. / .25 ACRES
MAX. ALLOWABLE AREA / MAX. F.A.R.: 33,105 S.F. / 3.0
MAX RESIDENTIAL UNITS (60 PER ACRE): 13 UNITS
CALIFORNIA DENSITY BONUS (ADDITIONAL 1.35): 17 UNITS

ALLOWABLE HEIGHT: 55'-0"
PROPOSED HEIGHT: 55'-0"

PROPOSED FLOOR AREA:

FIRST FLOOR: 9,672 S.F.
OFFICE: 8,300 S.F.
RESIDENTIAL: 1,372 S.F.

SECOND FLOOR OFFICE: 9,007 S.F.

THIRD FLOOR OFFICE: 9,016 S.F.

FOURTH FLOOR OFFICE: 7,206 S.F.

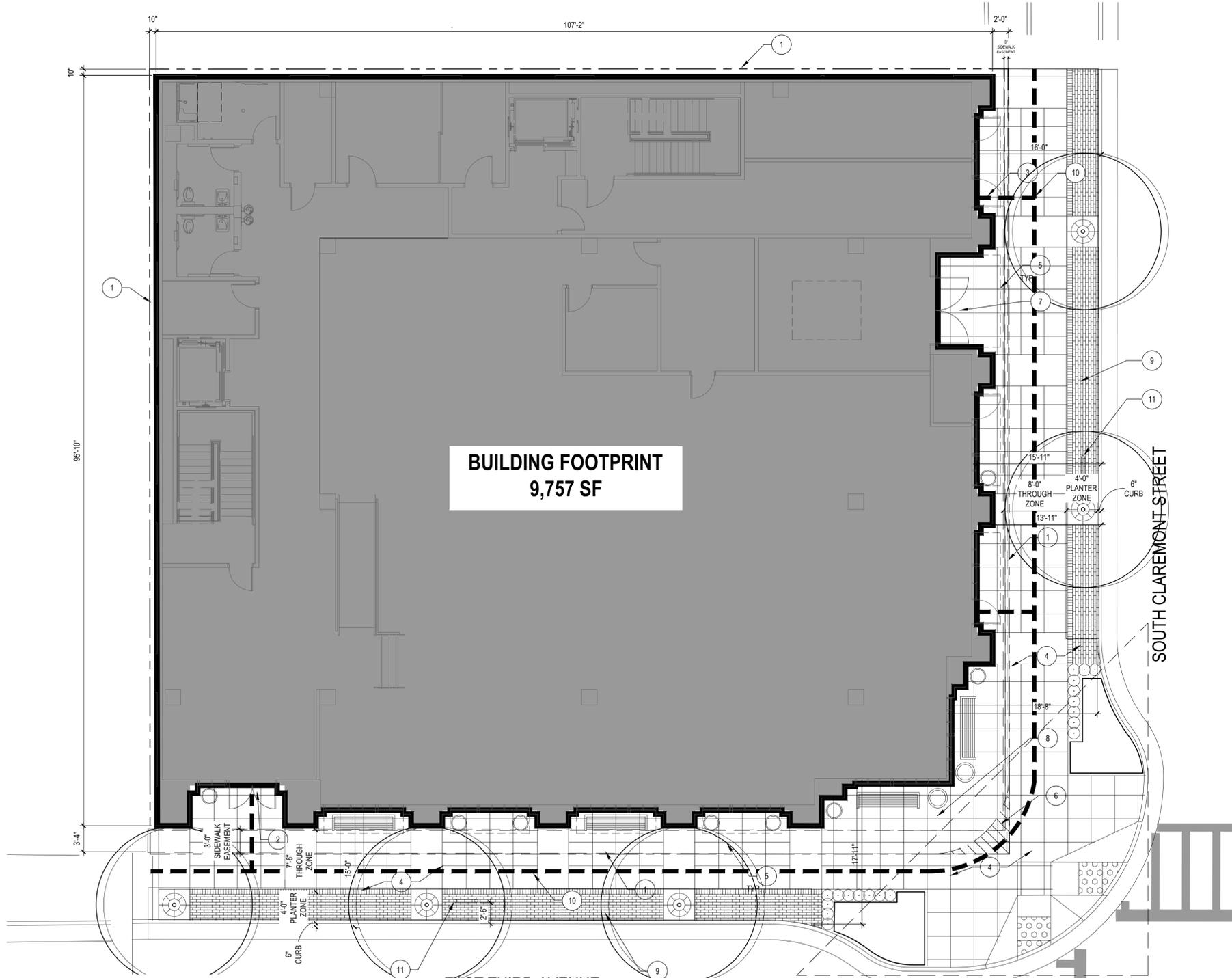
FIFTH FLOOR RESIDENTIAL: 4,992 S.F.

TOTAL FLOOR AREA BUILDING: 39,893 S.F.

FLOOR AREA RATIO (39,893 S.F./11,035 S.F.) 3.61²
²PER CALIFORNIA DENSITY BONUS, ADDITIONAL FAR INCREASE BEYOND 3.0 REQUESTED

PARCEL COVERAGE: 9.757 / 11,035 = 88.4%
F.A.R. (OFFICE AREA): 33,529 / 11,035 = 303.8%
F.A.R. (OFFICE AND RESIDENTIAL): 39,893 / 11,035 = 361.5%

TOTAL RESIDENTIAL UNITS PROVIDED: (5) UNITS
UNIT TYPE COUNT: (1) STUDIO
(4) ONE-BEDROOM UNITS



BUILDING FOOTPRINT
9,757 SF

SITE PLAN NOTES:

- REFER TO SHEET C2.01 AND C3.01 FOR ALL EXISTING AND PROPOSED OBSTRUCTIONS ON SIDEWALKS AND CURBS INCLUDING BUT NOT LIMITED TO HYDRANTS, UTILITY METERS, UTILITY POLES AND STREETLIGHTS .
- REFER TO SHEET C2.01 FOR ALL EXISTING EASEMENTS ON THE PROJECT. THERE ARE NO PROPOSED EASEMENTS AT THIS TIME.
- REFER TO SHEET L0.4 FOR LOCATION, SPECIES AND SIZE OF ALL EXISTING TREES NOTED TO BE REMOVED.



SITE PLAN
SCALE: 1/8" = 1'-0"

PARKING ANALYSIS

TOTAL PARKING REQUIRED PER SAN MATEO MUNICIPAL CODE CHAPTER 27.64
OFFICE (1,871,000) (33,367 SF) 63 SPACES
RESIDENTIAL (5 / BEDROOM) 3 SPACES
PARKING TOTAL REQUIRED: 66 SPACES

NOTE: USING STATE DENSITY BONUS FOR OFFSITE PARKING WITH IN-LIEU OF FEES

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- EXISTING PROPERTY LINE
- MAIN ENTRY TO OFFICE SPACE
- RESIDENTIAL ENTRY
- EXISTING PUBLIC SIDEWALK TO BE REPLACED
- DASHED LINE INDICATES CANOPY ABOVE
- PUE EASEMENT
- SOLID WASTE SERVICE LOCATION.
- PROPOSED FUTURE PUBLIC ART LOCATION
- POTENTIAL FUTURE GREEN INFRASTRUCTURE
- ACCESSIBLE PATH OF TRAVEL SHOWN DASHED
- BICYCLE RACK FOR (2) SHORT TERM PARKING SPACES.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

SITE PLAN

A 1.01

PROJECT NO: 215293

P:\2021\20210201_435 E Third Avenue\07_Plan\02_Site Plan.dwg (User: ARCTEC) 02/03/2021 11:11 AM, Plot: 01/2023, 33x36, 1/8"=1'-0"



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

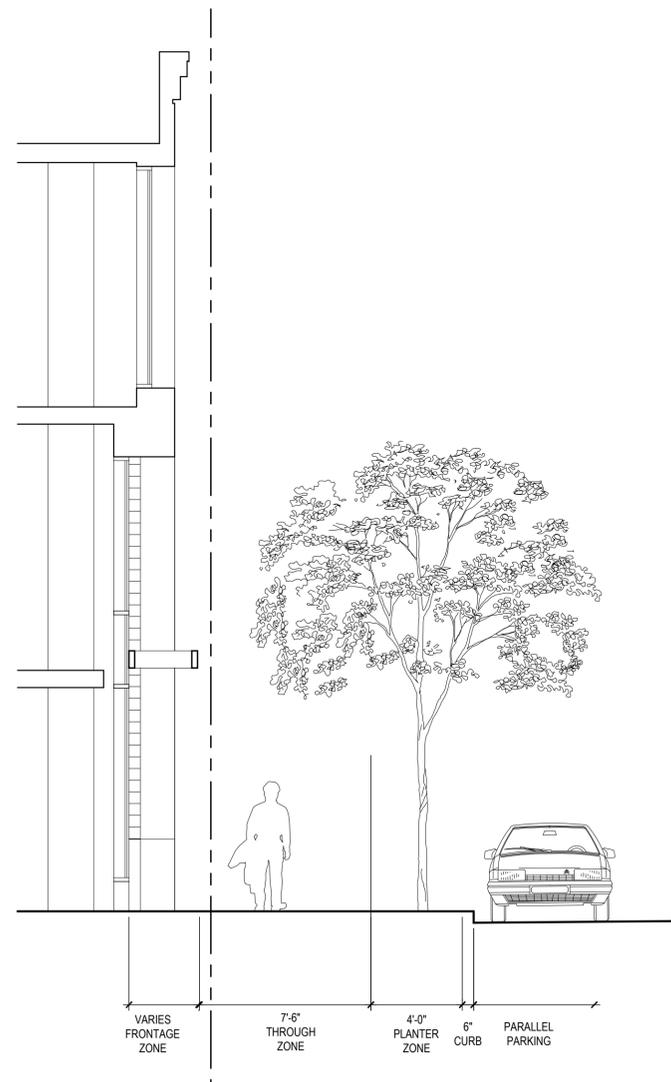
The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants, drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all the information. The "user" in possession of this document shall not use or authorize the use of any part of the information for any purpose other than that intended by ARC TEC and ARC TEC consultants. ARC TEC and ARC TEC consultants shall not be liable for the user's use of the information without liability to ARC TEC and ARC TEC consultants. The user's possession of this document shall constitute and hold harmless ARC TEC and ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC and ARC TEC consultants' instruments of service. Where dimensions on this drawing shall have precedence over any scaled dimension. DO NOT SCALE THIS DRAWING for accurate dimensions and note ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

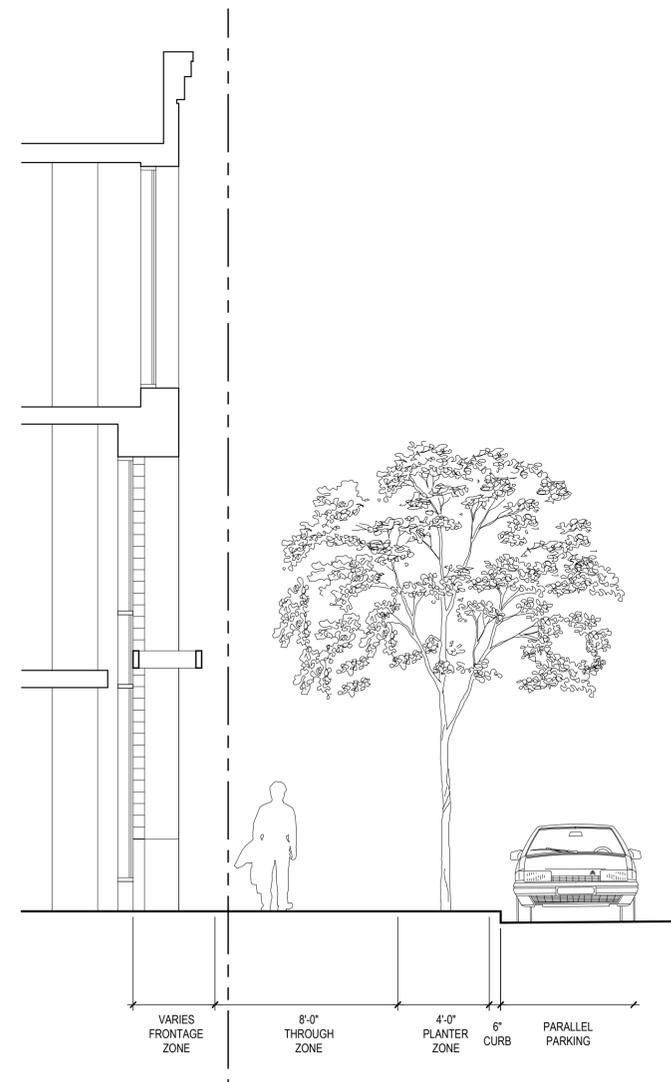
DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL



A.10
SIDEWALK SECTION- E 3RD

SCALE: 1/4" = 1'-0"

2



A.10
SIDEWALK SECTION- CLAREMONT

SCALE: 1/4" = 1'-0"

1



SIDEWALK SECTION

A 1.02

PROJECT NO. 215293



WINTER SOLSTICE - 9 AM

SCALE: N.T.S.

10



AUTUMN EQUINOX - 9 AM

SCALE: N.T.S.

7



SUMMER SOLSTICE - 9 AM

SCALE: N.T.S.

4



SPRING EQUINOX - 9 AM

SCALE: N.T.S.

1



WINTER SOLSTICE - 12 PM

SCALE: N.T.S.

11



AUTUMN EQUINOX - 12 PM

SCALE: N.T.S.

8



SUMMER SOLSTICE - 12 PM

SCALE: N.T.S.

5



SPRING EQUINOX - 12 PM

SCALE: N.T.S.

2



WINTER SOLSTICE - 3 PM

SCALE: N.T.S.

12



AUTUMN EQUINOX - 3 PM

SCALE: N.T.S.

9



SUMMER SOLSTICE - 3 PM

SCALE: N.T.S.

6



SPRING EQUINOX - 3 PM

SCALE: N.T.S.

3



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

1731 Technology Drive, Suite 750
San Jose, CA 95131 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documents are instruments of service. ARC TEC and ARC TEC consultants shall be deemed the author and owner of such documents. The "user" in possession of this document shall not use or authorize any other person to use ARC TEC or ARC TEC consultants instruments of service. Inmate without ARC TEC written authorization will be at the user's sole risk and liability to ARC TEC and ARC TEC consultants. The user's possession of this document shall not constitute an agreement and employees from and appear all clients, arrange issues and expenses, including but not limited to the making of architectural team of ARC TEC or ARC TEC consultants instruments of service.

When dimensions in this drawing have precedence over any stated dimension, CONSULT SCALE. THIS DRAWING FOR ACCURATE DIMENSIONS AND NORTH ARC TEC ONLY ORIENTATION.

© Copyright ARC TEC, Inc. 2018

In Association with:

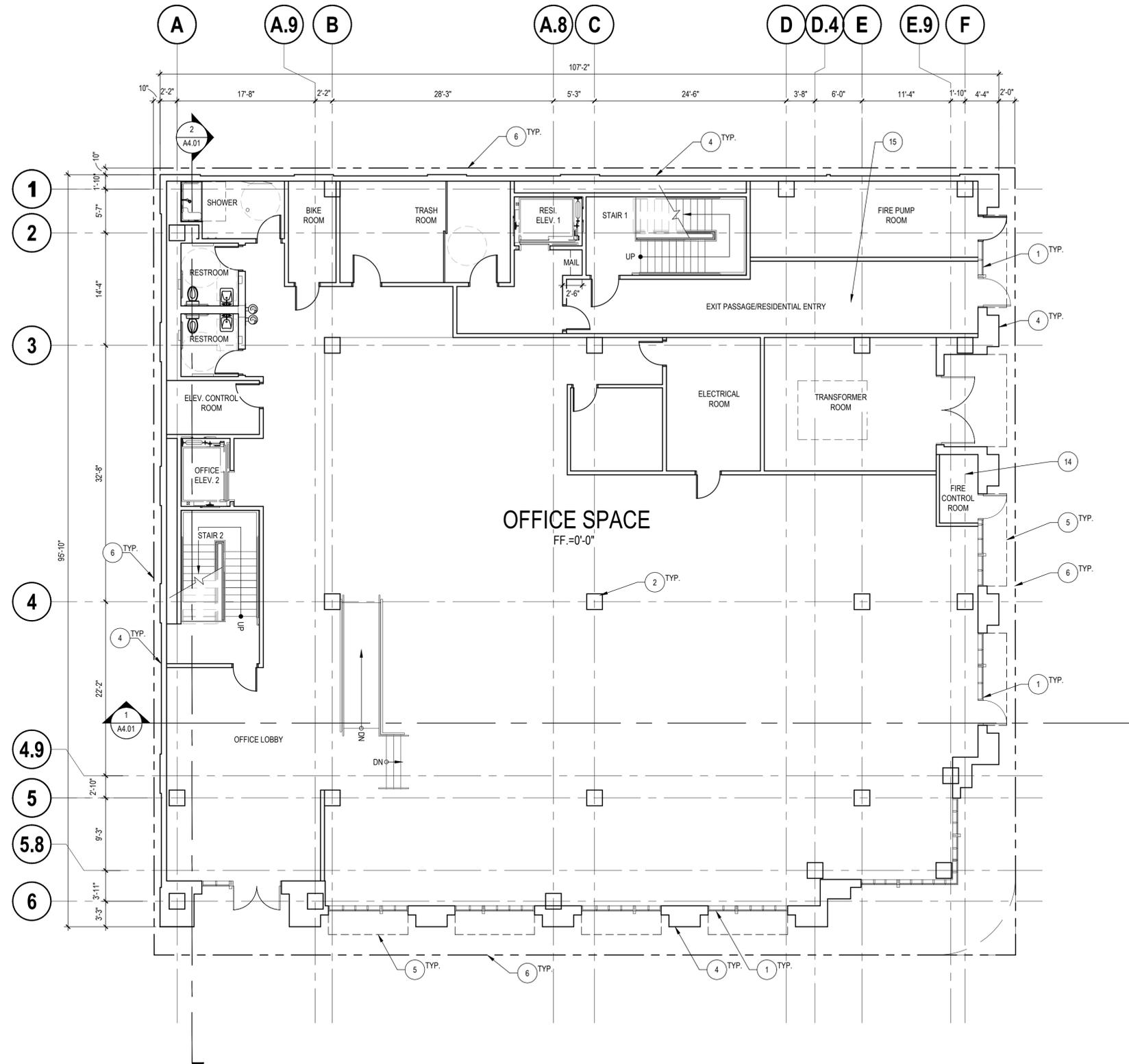
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

SOLAR SHADOW STUDY

A 1.11

PROJECT NO: 215293



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 NOT USED
- 4 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 PROPERTY LINE
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 CANOPY BELOW
- 9 SOFFIT ABOVE, SHOWN DASHED
- 10 SHAFT
- 11 LINE OF CANOPY BELOW
- 12 LINE OF BALCONY BELOW
- 13 PATIO DIVIDERS
- 14 KNOX BOX KEY SHUT OFF FOR FUTURE PHOTOVOLTAIC SYSTEM.
- 15 RATED EXIT PASSAGE

FIRST LEVEL PLAN

SCALE: 1/8" = 1'-0"



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of such documentation. The "user" in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' name or name of service. ARC TEC's review and consultation will be at the user's sole risk and without liability to ARC TEC and ARC TEC's consultants. The user in possession of this documentation shall indemnify and hold harmless ARC TEC and ARC TEC's consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC's consultants' instruments of service. Where dimensions on the drawing shall have precedence over any written dimension, DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

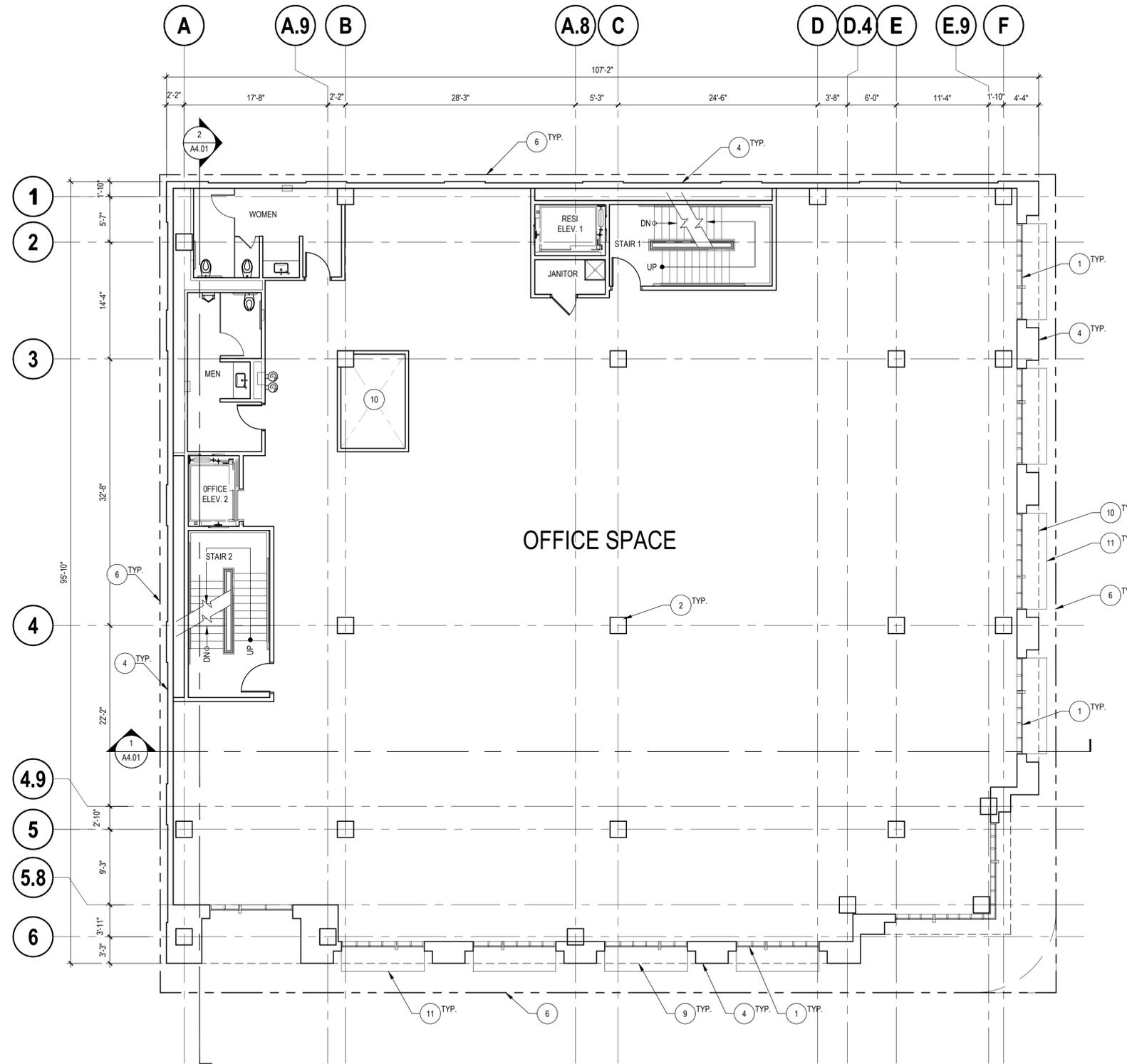
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

FIRST LEVEL PLAN

A 2.11

PROJECT NO: 215293



SECOND LEVEL PLAN

SCALE: 1/8" = 1'-0"



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 NOT USED
- 4 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 PROPERTY LINE
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 CANOPY BELOW
- 9 SOFFIT ABOVE, SHOWN DASHED
- 10 SHAFT
- 11 LINE OF CANOPY BELOW
- 12 LINE OF BALCONY BELOW
- 13 PATIO DIVIDERS
- 14 KNOX BOX KEY SHUT OFF FOR FUTURE PHOTOVOLTAIC SYSTEM.
- 15 RATED EXIT PASSAGE



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "Seal" is a possession of this document and knowledge of the ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all such documentation. The "Seal" is a possession of this document and shall not be reproduced or otherwise used by any person to use ARC TEC or ARC TEC consultants' name or name of service. ARC TEC and ARC TEC consultants shall be held harmless for any and all liability to ARC TEC and ARC TEC consultants. The service provided by this document shall constitute and shall constitute ARC TEC and ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' name or name of service. Where dimensions on this drawing shall have precedence over any scaled dimension. DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

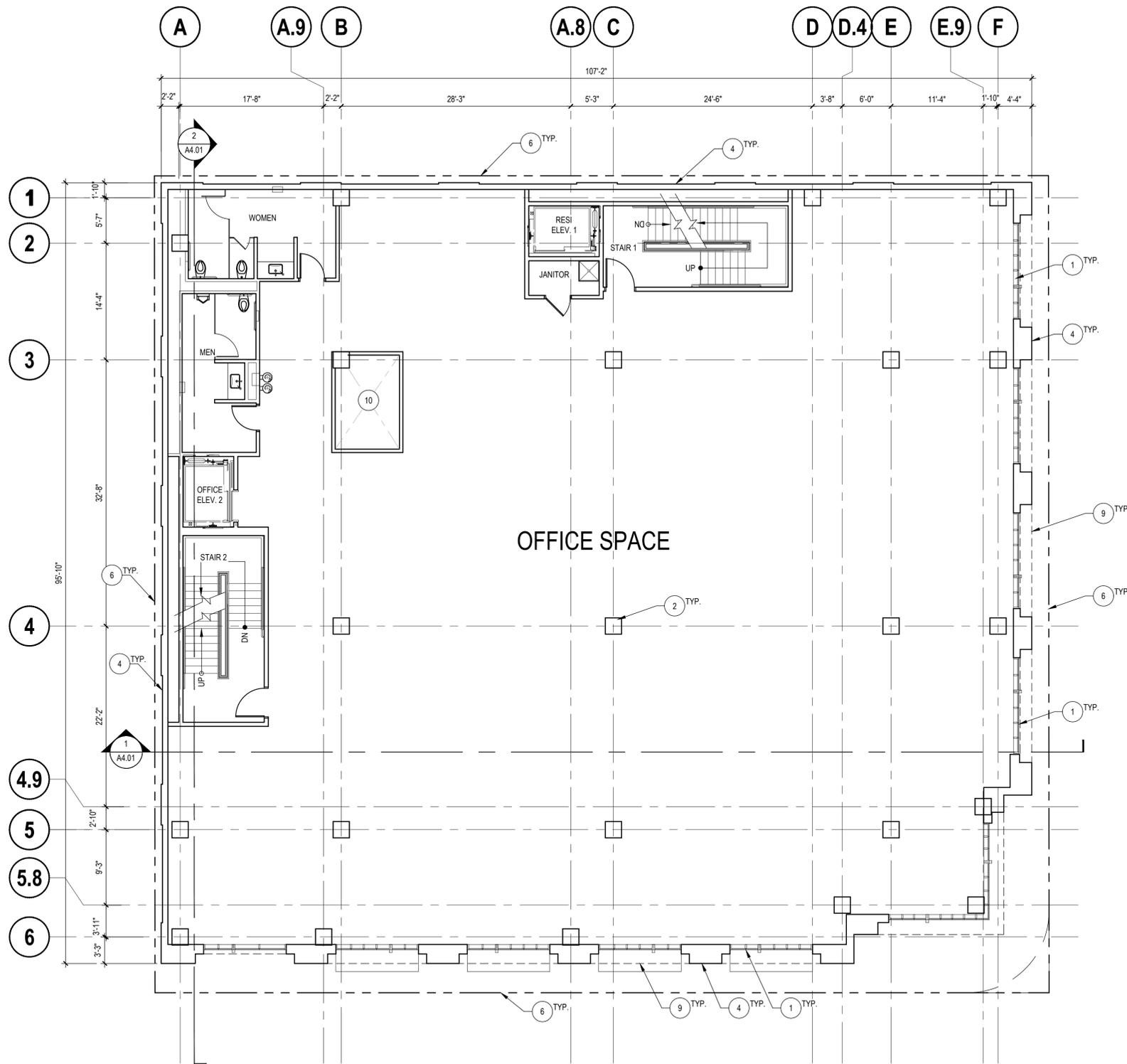
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

SECOND LEVEL PLAN

A 2.12

PROJECT NO: 215293



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 NOT USED
- 4 EXTERIOR WALL, REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 PROPERTY LINE
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 CANOPY BELOW
- 9 SOFFIT ABOVE, SHOWN DASHED
- 10 SHAFT
- 11 LINE OF CANOPY BELOW
- 12 LINE OF BALCONY BELOW
- 13 PATIO DIVIDERS
- 14 KNOX BOX KEY SHUT OFF FOR FUTURE PHOTOVOLTAIC SYSTEM.
- 15 RATED EXIT PASSAGE



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of such documentation. The "user" in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' drawings, reports, specifications, reports, electronic data and other documentation at the user's sole risk and without liability to ARC TEC and ARC TEC consultants. The user in possession of this documentation shall indemnify and hold harmless ARC TEC and ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Where dimensions on this drawing shall have precedence over any scaled dimension, DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

THIRD LEVEL PLAN

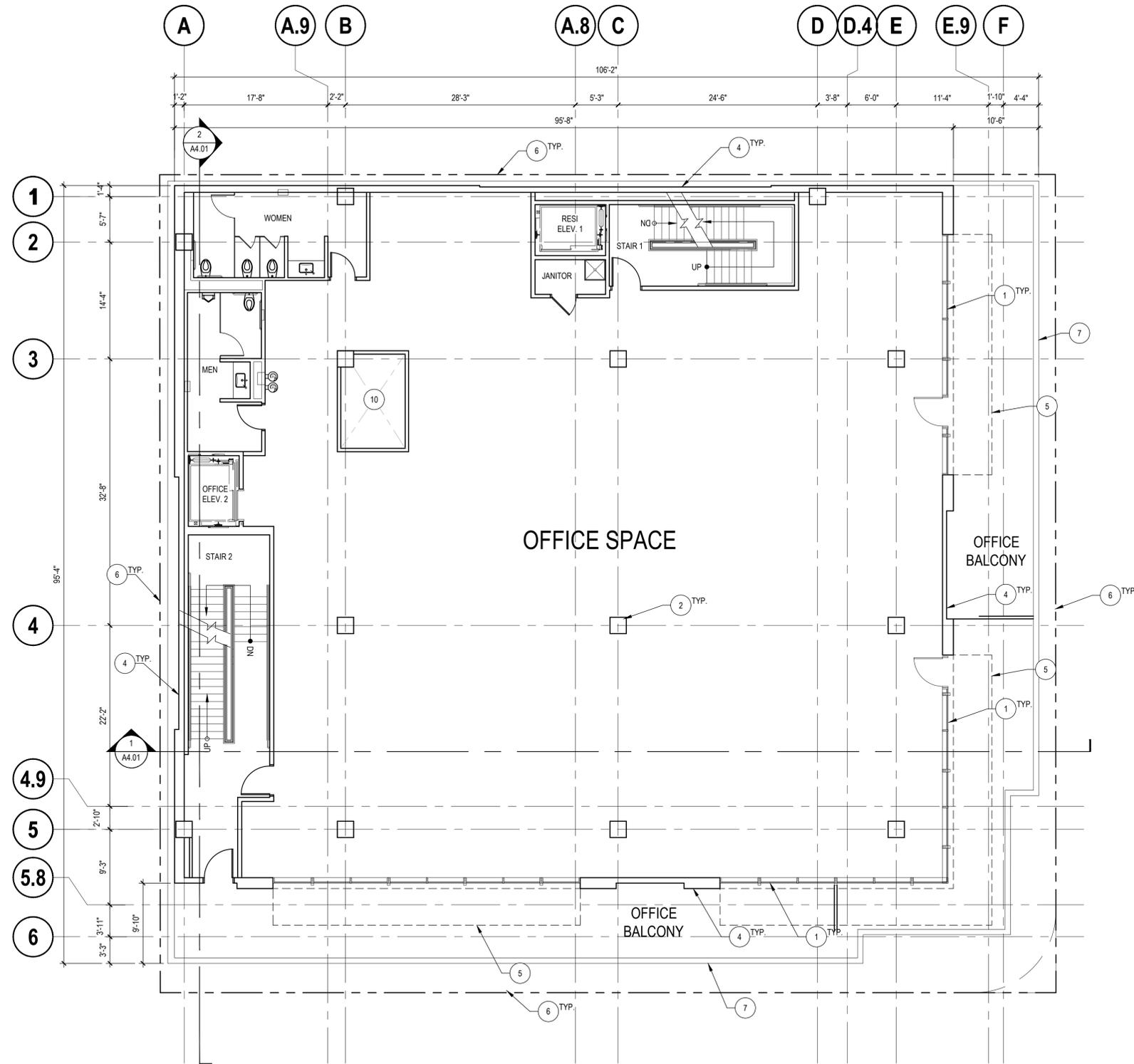
SCALE: 1/8" = 1'-0"



THIRD LEVEL PLAN

A 2.13

PROJECT NO: 215293



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 NOT USED
- 4 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 PROPERTY LINE
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 CANOPY BELOW
- 9 SOFFIT ABOVE, SHOWN DASHED
- 10 SHAFT
- 11 LINE OF CANOPY BELOW
- 12 LINE OF BALCONY BELOW
- 13 PATIO DIVIDERS
- 14 KNOX BOX KEY SHUT OFF FOR FUTURE PHOTOVOLTAIC SYSTEM.
- 15 RATED EXIT PASSAGE

FOURTH LEVEL PLAN

SCALE: 1/8" = 1'-0"



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California
1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of such documentation. The "user" in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' drawings, reports, specifications, reports, electronic data and other documentation in any way without the prior written consent of ARC TEC and ARC TEC consultants. The user's possession of this documentation shall constitute no warranty, express or implied, by ARC TEC and ARC TEC consultants and agents and employees hereof against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' instruments of service. Where dimensions on the drawing shall have precedence over any written dimension, DO NOT SCALE THIS DRAWING for accurate dimensions and notify ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

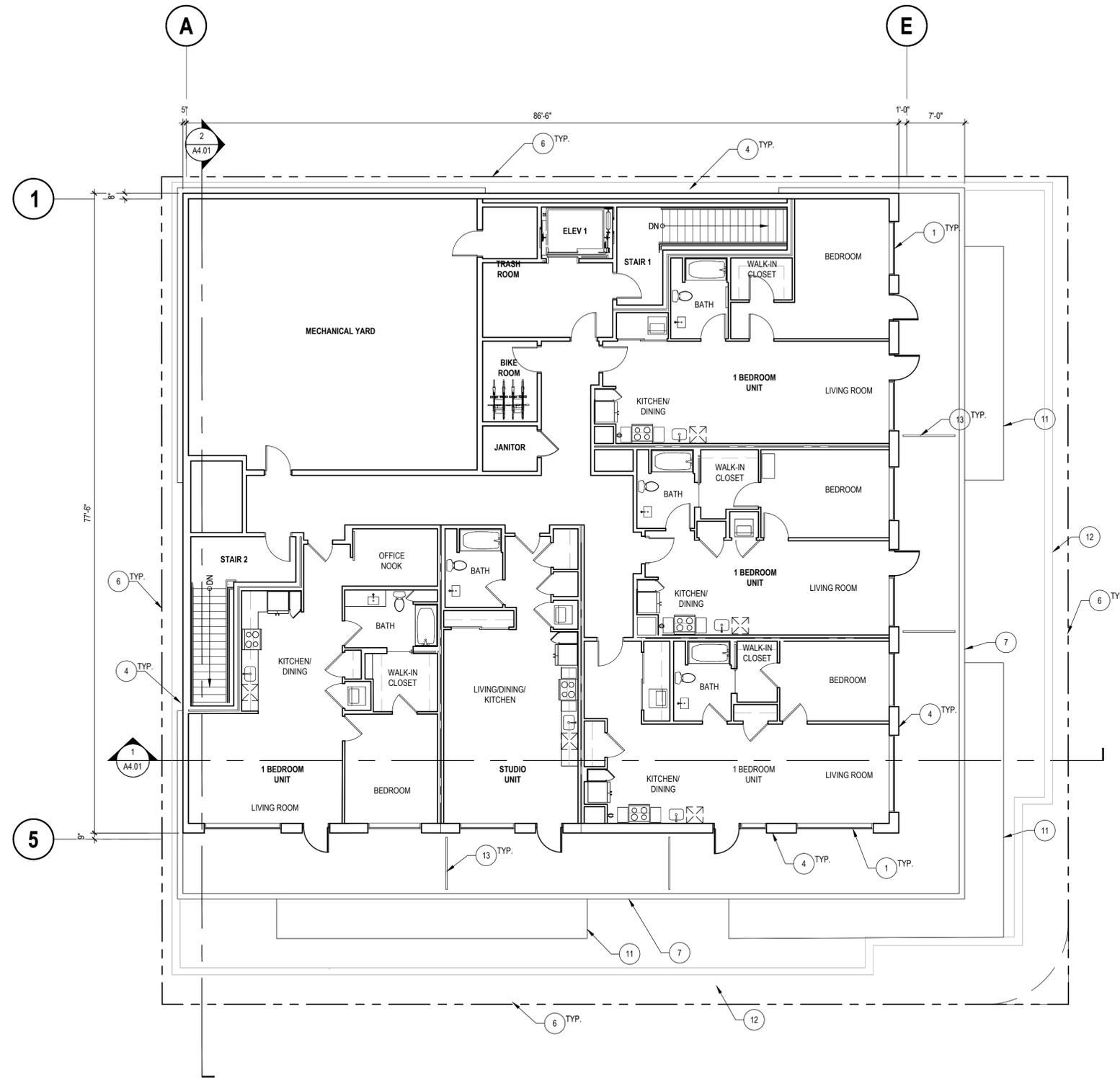
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

FOURTH LEVEL PLAN

A 2.14

PROJECT NO: 215293



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 STRUCTURAL COLUMN
- 3 NOT USED
- 4 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
- 5 CANOPY ABOVE, SHOWN DASHED
- 6 PROPERTY LINE
- 7 EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 CANOPY BELOW
- 9 SOFFIT ABOVE, SHOWN DASHED
- 10 SHAFT
- 11 LINE OF CANOPY BELOW
- 12 LINE OF BALCONY BELOW
- 13 PATIO DIVIDERS
- 14 KNOX BOX KEY SHUT OFF FOR FUTURE PHOTOVOLTAIC SYSTEM.
- 15 RATED EXIT PASSAGE

27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

- (a) Open Space. Residential development shall include private usable open space equal to at least 80 square feet per dwelling unit or common usable open space equal to at least 150% of the private usable open space requirements, or a combination of both.

Private usable open space used to fulfill this requirement shall have a usable area of not less than 75 square feet and shall not be less than six (6) feet in any dimension.

PROJECT PROPOSES TO MODIFY PER THE STATE DENISTY CODE THE REQUIRES TO:

27.38.130 RESIDENTIAL DEVELOPMENT STANDARDS.

- (a) Open Space. Residential development shall include private usable open space equal to at least 60 square feet per dwelling unit or common usable open space equal to at least 150% of the private usable open space requirements, or a combination of both.

Private usable open space used to fulfill this requirement shall have a usable area of not less than 60 square feet and shall not be less than six (6) feet in any dimension.

RESIDENTIAL UNITS COUNT:

STUDIO	1 UNIT
ONE BEDROOMS	4 UNITS
TOTAL	5 UNITS

FIFTH LEVEL PLAN

SCALE: 1/8" = 1'-0"



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arctecinc.com
Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "user" in possession of this document acknowledges that ARC TEC and ARC TEC consultants drawings, specifications, reports, electronic data and other documents are instruments of service. ARC TEC and ARC TEC consultants shall be deemed to be the author and owner of all intellectual property contained in this document. The "user" in possession of this document shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' name or name of service without ARC TEC's written authorization. ARC TEC shall not be liable for any damages, including but not limited to attorney's fees, arising out of unauthorized use of ARC TEC or ARC TEC consultants' name or name of service. Where dimensions on this drawing shall have precedence over any verbal dimension, DO NOT SCALE THIS DRAWING for accurate dimensions and note ARC TEC of any discrepancies.

© Copyright ARC TEC, Inc. 2018

In Association with:

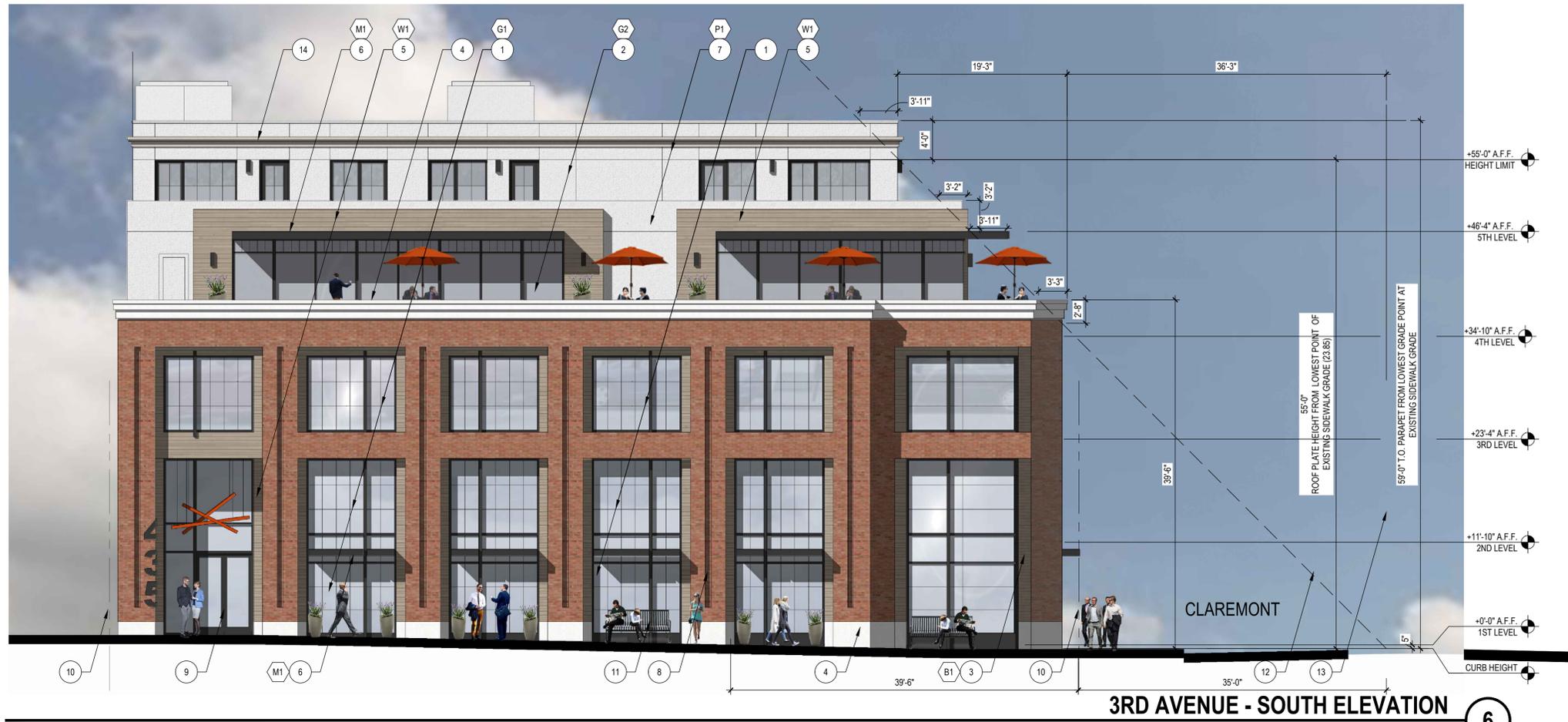
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

FIFTH LEVEL PLAN

A 2.15

PROJECT NO: 215293



KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 3 THIN BRICK OVER METAL FRAMING
- 4 PRECAST CONCRETE
- 5 WOOD CLADDING OVER METAL FRAMING
- 6 ALUMINUM COMPOSITE METAL PANEL CANOPY/EYEBROW
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 RECESSED BRICK WORK WITH INTEGRAL LED LIGHTING
- 9 ENTRY/EXIT DOOR
- 10 EXISTING PROPERTY LINE
- 11 EXPRESSED MULLION
- 12 REQUIRED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED - ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS
- 13 CENTERLINE OF PUBLIC RIGHT OF WAY
- 14 ARCHITECTURAL MANUFACTURED STONE TRIM

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- B1 THIN BRICK VENEER
MANUFACTURER: MCNEAR BRICK & BLOCK
SERIES: COMMERCIAL
COLOR: SIENNA WIRECUT
- G1 GLAZING*
TYPE: 1" INSULATED
COLOR: LOW TINT
- G2 GLAZING*
TYPE: 1" INSULATED
COLOR: GRAY TINT
- M1 ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER: REYNOLBOND
SERIES: COLORWELD 500 XL
FINISH: BLACK
- P1 PAINT OVER STUCCO FINISH
MANUFACTURER: BENJAMIN MOORE
COLOR: BM 1548 CLASSIC GREY
- P2 PAINT
MANUFACTURER: BENJAMIN MOORE
COLOR: BM 989 ALPHANO BIEGE
- W1 WOOD CLADDING
MANUFACTURER: DELTA MILLWORKS
COLOR: ACCOYA SMOOTH LIMESTONE

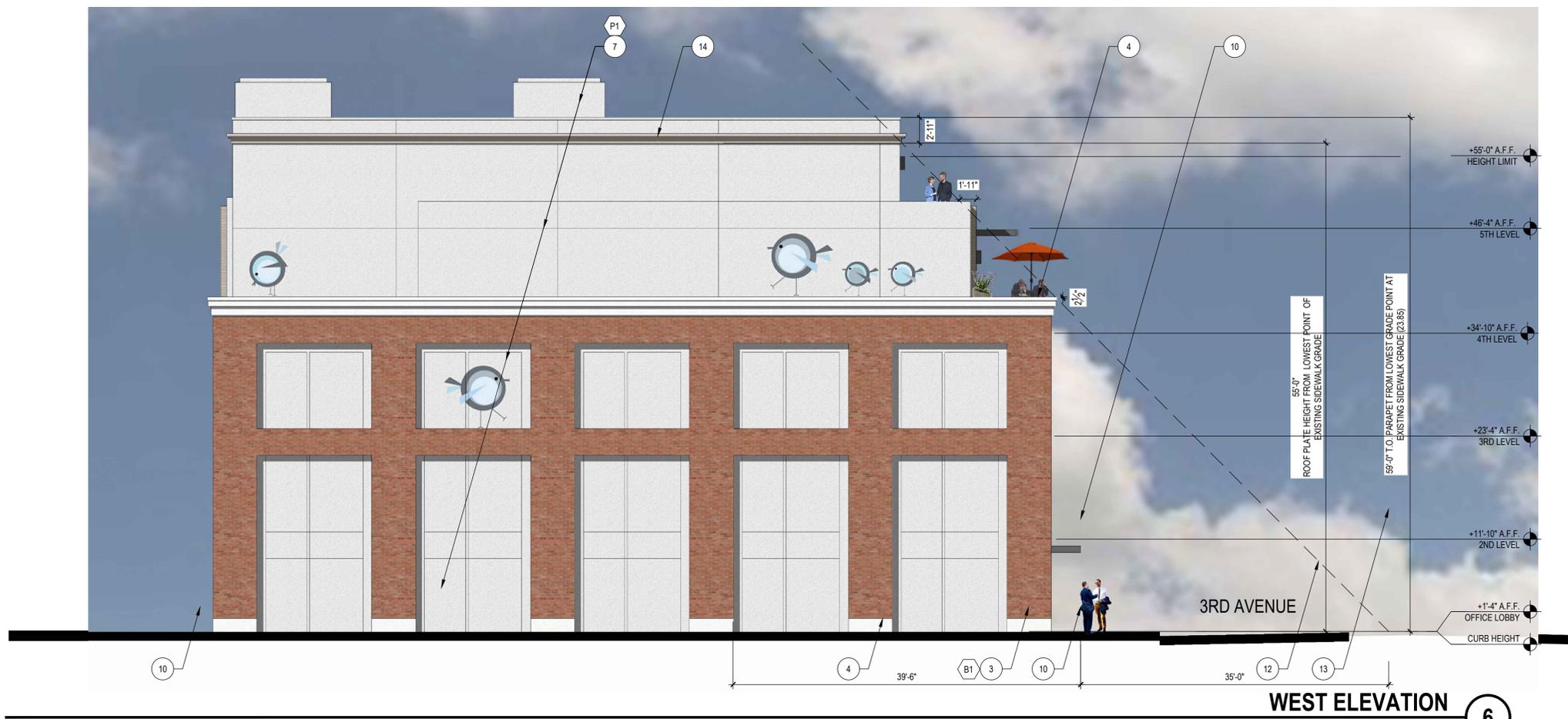


The "licensee" in possession of this documentation acknowledges that ARC TEC and ARC TEC consultants are not responsible for the design, construction, or performance of any project. ARC TEC and ARC TEC consultants shall not be held liable for any errors or omissions in this documentation. The licensee shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. ARC TEC and ARC TEC consultants shall not be held liable for any damages, including consequential damages, arising from the use of this documentation. ARC TEC and ARC TEC consultants shall not be held liable for any damages, including consequential damages, arising from the use of this documentation. ARC TEC and ARC TEC consultants shall not be held liable for any damages, including consequential damages, arising from the use of this documentation. ARC TEC and ARC TEC consultants shall not be held liable for any damages, including consequential damages, arising from the use of this documentation.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

EXTERIOR ELEVATIONS



KEYNOTES

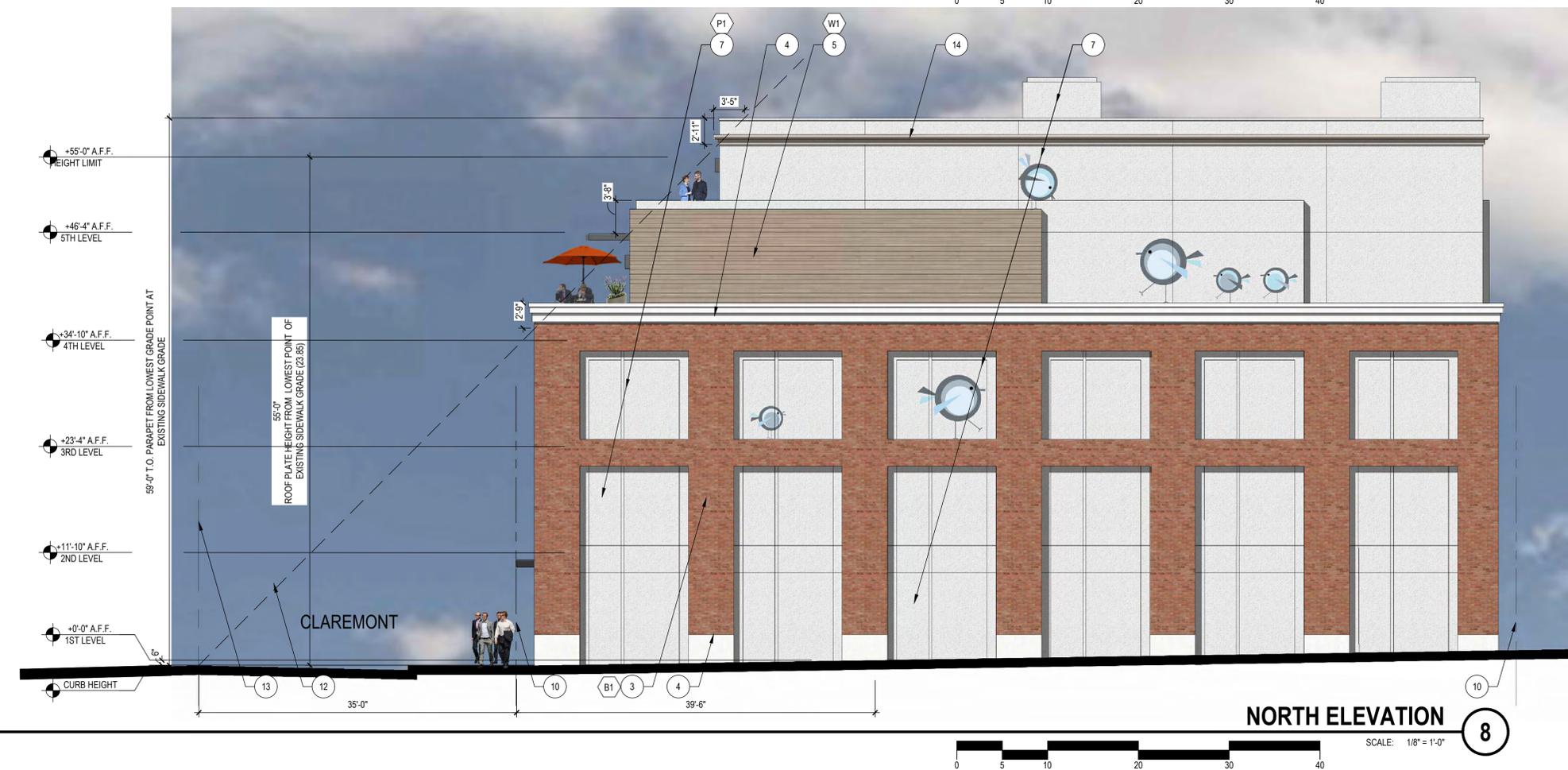
NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BLACK ALUMINUM FRAMES AND VERTICAL BUTT JOINTS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH GRAY TINT GLASS IN BLACK ALUMINUM FRAMES WITH VERTICAL AND HORIZONTAL EXPRESSED MULLIONS
- 3 THIN BRICK OVER METAL FRAMING
- 4 PRECAST CONCRETE
- 5 WOOD CLADDING OVER METAL FRAMING
- 6 ALUMINUM COMPOSITE METAL PANEL CANOPY/EYEBROW
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 RECESSED BRICK WORK WITH INTEGRAL LED LIGHTING
- 9 ENTRY/EXIT DOOR
- 10 EXISTING PROPERTY LINE
- 11 EXPRESSED MULLION
- 12 REQUIRED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED - ALLOWABLE INTRUSIONS ABOVE THE STREET WALL AREA ARE LIMITED TO MINOR ARCHITECTURAL DETAILING NOT EXCEEDING FOUR (4) FEET IN HEIGHT AND PARAPETS INCLUDING RAILINGS AND ARBORS
- 13 CENTERLINE OF PUBLIC RIGHT OF WAY
- 14 ARCHITECTURAL MANUFACTURED STONE TRIM

MATERIAL PALETTE

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

- | | | |
|----|---|--|
| B1 | THIN BRICK VENEER
MANUFACTURER:
SERIES:
COLOR: | MCNEAR BRICK & BLOCK
COMMERCIAL
SIENNA WIRECUT |
| G1 | GLAZING*
TYPE:
COLOR: | 1" INSULATED
LOW TINT |
| G2 | GLAZING*
TYPE:
COLOR: | 1" INSULATED
GRAY TINT |
| M1 | ALUMINUM SUNSCREEN FINISH TO MATCH
MANUFACTURER:
SERIES:
FINISH: | REYNOLBOND
COLORWELD 500 XL
BLACK |
| P1 | PAINT OVER STUCCO FINISH
MANUFACTURER:
COLOR: | BENJAMIN MOORE
BM 1548 CLASSIC GREY |
| P2 | PAINT
MANUFACTURER:
COLOR: | BENJAMIN MOORE
BM 989 ALPHANO BIEGE |
| W1 | WOOD CLADDING
MANUFACTURER:
COLOR: | DELTA MILLWORKS
ACCOYA SMOOTH LIMESTONE |



ARC TEC
ARCHITECTURAL TECHNOLOGIES
www.arcotecinc.com

Arizona

2960 East Northern Avenue, Building C
Phoenix, AZ 85028 602.953.2355

California

1731 Technology Drive, Suite 750
San Jose, CA 95113 408.496.1121

The "licensee" in possession of this documentation acknowledges that ARC TEC and ARC TEC consultants' drawings, specifications, reports, electronic data and other documentation are instruments of service. ARC TEC and ARC TEC consultants shall be deemed the author and owner of such documentation. The licensee in possession of this documentation shall not use or authorize any other person to use ARC TEC or ARC TEC consultants' instruments of service. Review without ARC TEC's written authorization will be at the licensee's own risk and without liability to ARC TEC or ARC TEC consultants. The licensee in possession of this documentation shall indemnify and hold harmless ARC TEC and ARC TEC consultants and agents and employees from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, arising out of or in connection with the use of ARC TEC or ARC TEC's consultants' instruments of service. ARC TEC and ARC TEC consultants shall not be responsible for any errors or omissions in this drawing or for any consequences that may result therefrom. THIS DRAWING IS AN INSTRUMENT OF SERVICE AND NOT A CONTRACT. THE DRAWING IS TO BE USED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT AND NOT TO BE USED FOR ANY OTHER PURPOSE.

© Copyright ARC TEC, Inc. 2018

In Association with:

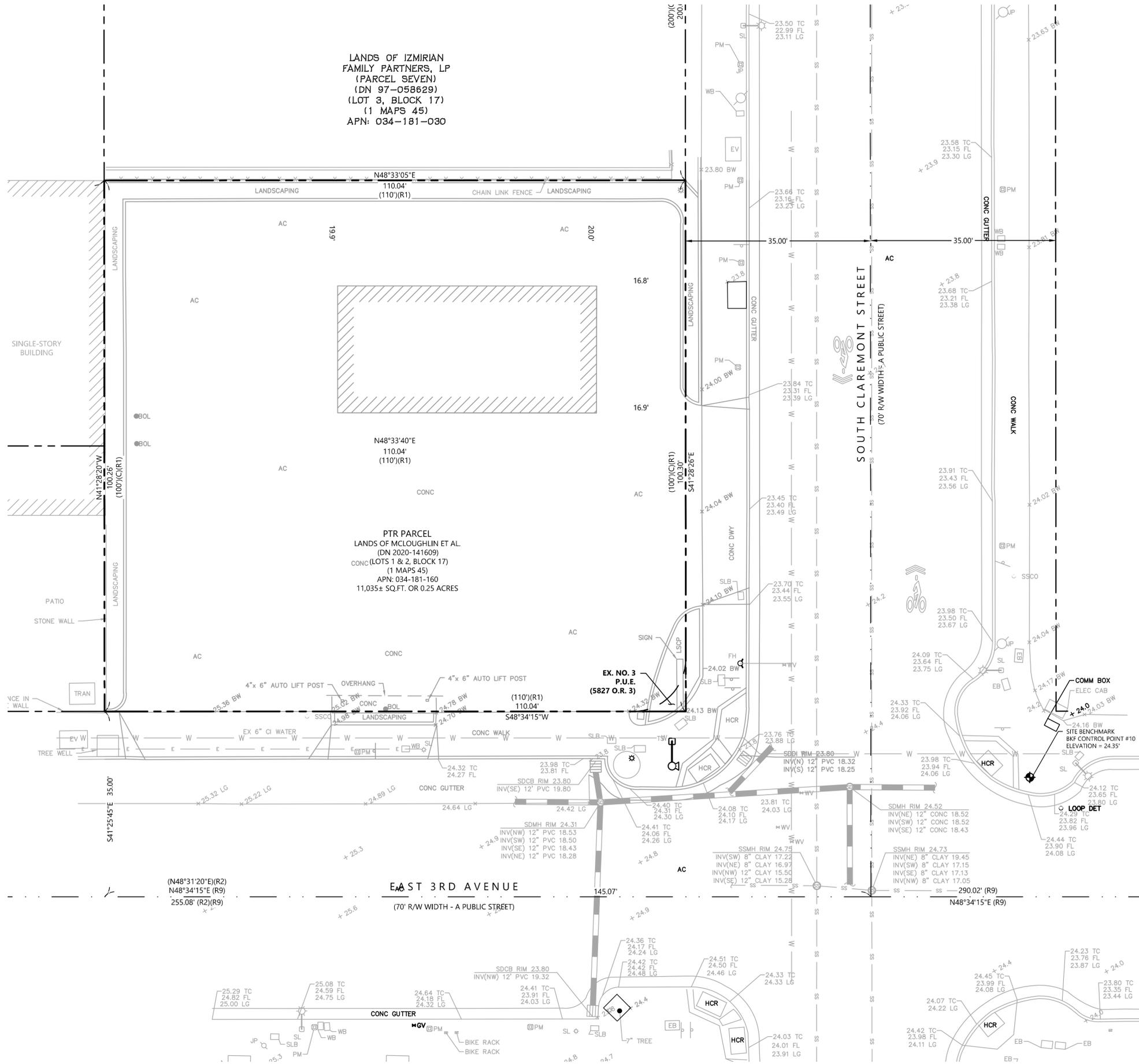
PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FIRST FORMAL PLANNING SUBM.
04.08.2022	SECOND PLANNING SUBMITTAL
06.22.2022	THIRD PLANNING SUBMITTAL
08.10.2022	FOURTH PLANNING SUBMITTAL

EXTERIOR ELEVATIONS

A 3.02

PROJECT NO: 216293



In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.23.2021	FORMAL PLANNING SUBMITTAL
04.04.2022	FORMAL PLANNING SUBMITTAL 2
06.22.2022	FORMAL PLANNING SUBMITTAL 3
08.10.2022	FORMAL PLANNING SUBMITTAL 4

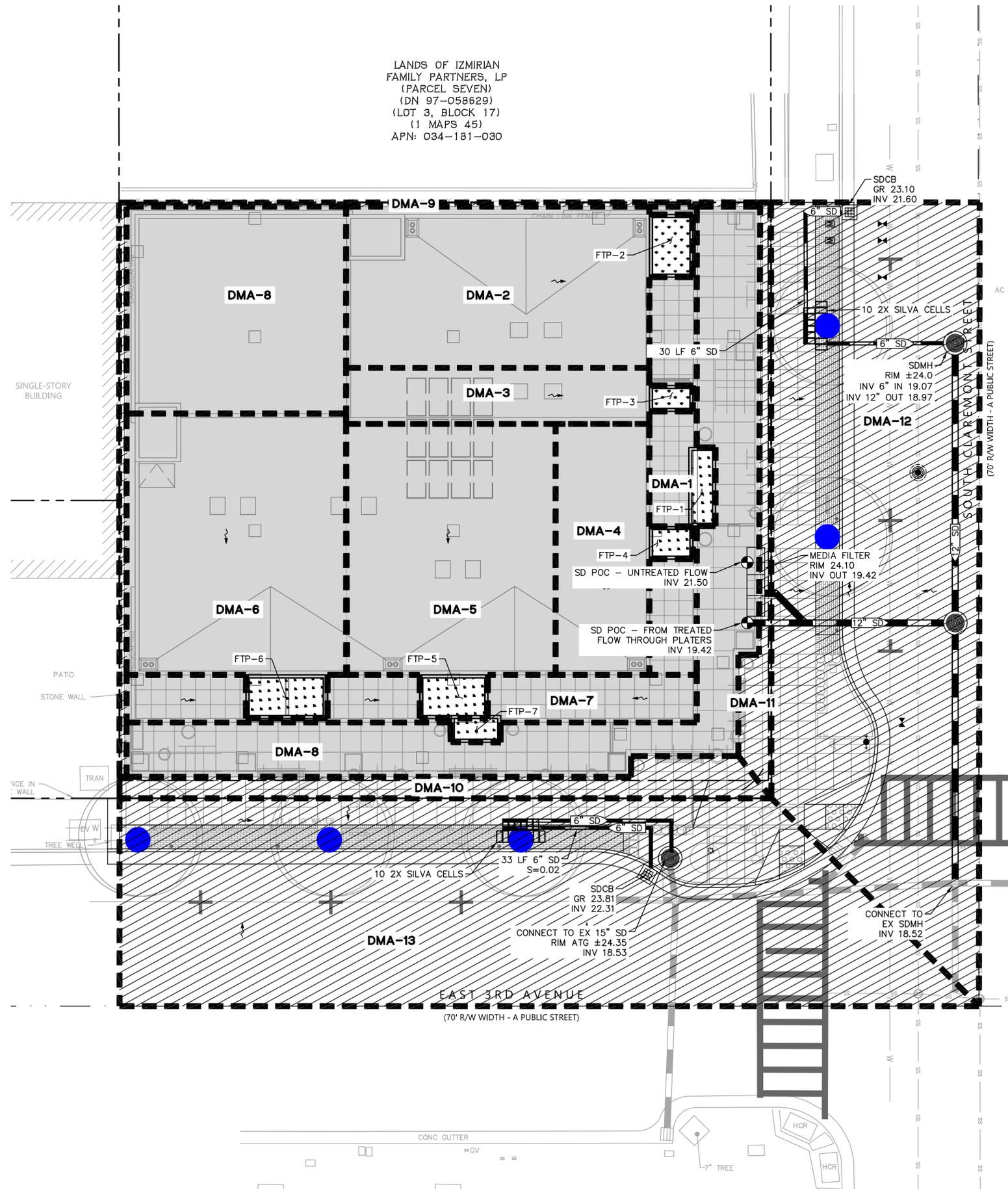


EXISTING CONDITIONS

C1.0

PROJECT NO: 215293

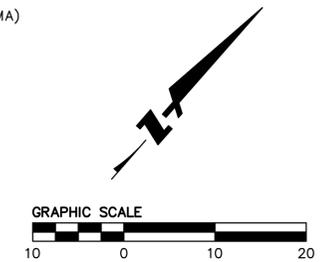
LANDS OF IZMIRIAN
FAMILY PARTNERS, LP
(PARCEL SEVEN)
(DN 97-058629)
(LOT 3, BLOCK 17)
(1 MAPS 45)
APN: 034-181-030



BIO-RETENTION PLANTER TREATMENT AREA							
DRAINAGE AREA	DRAINAGE AREA SIZE (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA* (SF)	REQUIRED TREATMENT AREA (SF)/ VOLUME (CFS)	PROVIDED TREATMENT AREA (SF)/ VOLUME (CFS)	PROPOSED TREATMENT CONTROLS
DMA-1	523	480	0	480	19	43	LID: FTP-1
DMA-2	1467	1406	0	1406	56	60	LID: FTP-2
DMA-3	516	495	0	495	20	21	LID: FTP-3
DMA-4	709	680	0	680	27	28	LID: FTP-4
DMA-5	1578	1512	0	1512	60	66	LID: FTP-5
DMA-6	1735	1657	0	1657	66	78	LID: FTP-6
DMA-7	613	587	0	587	23	26	LID: FTP-7
DMA-8	2977	2977	0	2975	0.012	33.75	NON-LID: MEDIA FILTER
DMA-9	192	192	0	192	1 EVERGREEN TREES OR 2 DECIDUOUS TREES	2 PROPOSED TRESS	INTERCEPTOR TREE CREDITS
DMA-10	459	459	0	459	1 2x SILVA CELLS	1 2X SILVA CELLS	SILVA CELLS
DMA-11	263	263	0	263	1 2x SILVA CELLS	1 2X SILVA CELLS	SILVA CELLS
DMA-12	4138	4138	0	4138	9 2X SILVA CELLS	9 2X SILVA CELLS	SILVA CELLS
DMA-13	4464	4464	0	4464	9 2X SILVA CELLS	9 2X SILVA CELLS	SILVA CELLS
TOTAL	19634	19310	0	19308			

*THE EFFECTIVE IMPERVIOUS SURFACE AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA AND 0.1 X THE TOTAL PERVIOUS AREA, EXCLUDING THE TREATMENT AREA.
NOTE: THE PROJECT WILL NOT BE ALLOWED TO USE TREE INTERCEPTOR CREDITS PER THE NEW MRP WHICH WENT INTO EFFECT ON 7/1/2022. THE PROJECT WILL UTILIZE ALTERNATIVE METHODS FOR MEETING STORMWATER MANAGEMENT REQUIREMENTS.

- LEGEND:**
- IMPERVIOUS AREA: ROOF
 - IMPERVIOUS AREA: PAVEMENT
 - PERVIOUS AREA: FLOW-THROUGH PLANTER
 - DRAINAGE MANAGEMENT AREA (DMA)
 - MEDIA FILTER
 - INTERCEPTOR TREE



In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FORMAL PLANNING SUBMITTAL
04.04.2022	FORMAL PLANNING SUBMITTAL 2
06.22.2022	FORMAL PLANNING SUBMITTAL 3
08.10.2022	FORMAL PLANNING SUBMITTAL 4



PRELIMINARY STORMWATER MANAGEMENT PLAN

GENERAL EROSION & SEDIMENT CONTROL NOTES

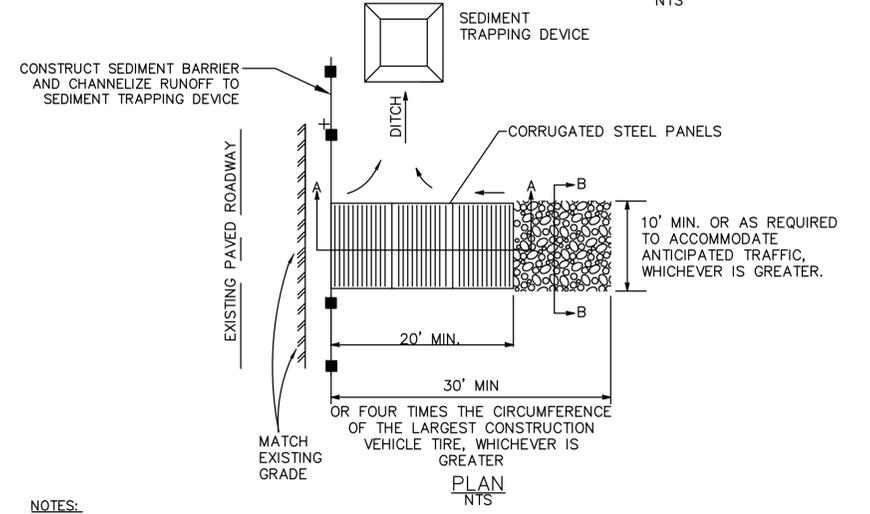
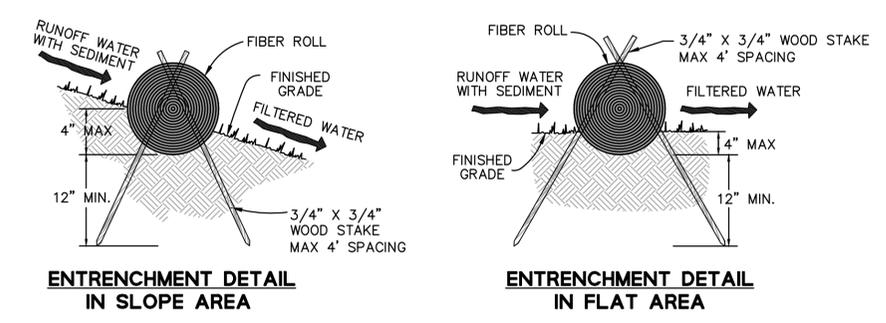
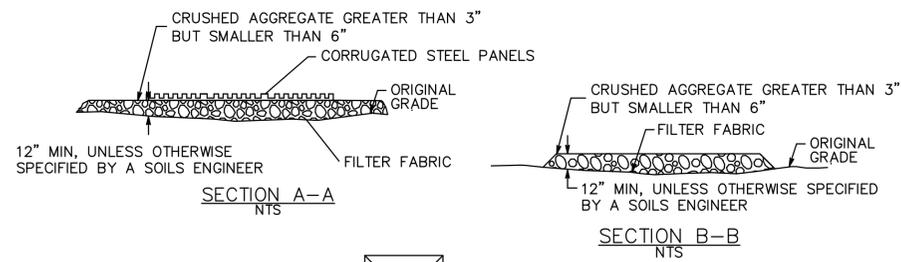
DEVELOPER: WINDY HILL PROPERTY VENTURES
530 EMERSON STREET, SUITE 150
PALO ALTO, CA 94301

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- CIVIL ENGINEER: BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
- CONSTRUCTION SUPERINTENDENT: TBD
(XXX) XXX-XXXX
- CONTRACTOR: TBD
ADDRESS
ADDRESS
(XXX) XXX-XXXX
- CONTRACTOR SHALL IMPLEMENT CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION AND SEDIMENT CONTROL THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH THE PROVISIONS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH IS MADE A PART OF THESE PLANS BY REFERENCE. CONSTRUCTION MATERIALS, EQUIPMENT, AND VEHICLES SHALL BE PROPERLY MAINTAINED AND MANAGED IN ACCORDANCE WITH THE SWPPP AND ALL OTHER APPLICABLE REQUIREMENTS.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 1ST AND APRIL 30TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.



150 CALIFORNIA STREET
SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
www.bkf.com

In Association with:



- NOTES:**
- PREPARE SLOPE BEFORE THE FIBER ROLL PROCEDURE IS STARTED.
 - FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, RUN PARALLEL TO THE CONTOUR. INSTALL FIBER ROLL FROM THE BOTTOM OF THE SLOPE AND WORK UP.
 - USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE FIBER ROLL AND INTO THE SOIL FOR WOODEN STAKES.
 - DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE FIBER ROLL.
 - INSTALL STAKES AT LEAST EVERY THREE FEET APART THROUGH THE FIBER ROLL.
 - ADJACENT FIBER ROLLS SHALL TIGHTLY ABUT.
 - RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 - INSTALL AT LOCATIONS SHOWN ON PLANS. IN SLOPE AREAS SPACE FIBER ROLLS EVERY 5 VERTICAL FEET ON SLOPE.

- NOTES:**
- ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
 - WHEELS SHALL BE CLEAN PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. SAND BAGS OR OTHER APPROVED METHODS).
 - THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3" TO 6" STONE.
 - THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
 - THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.

1 FIBER ROLLS

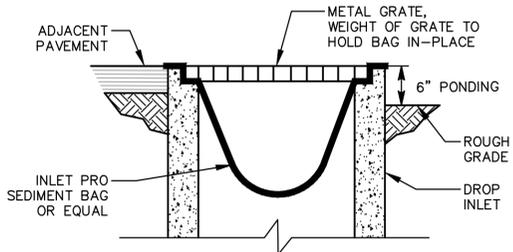
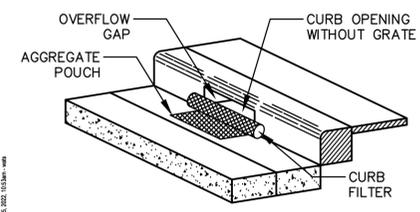
NTS

2 STABILIZED CONSTRUCTION ENTRANCE/EXIT

NTS

CONSTRUCTION STORMWATER BMP NOTES

- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMPs.
- PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS SUCH AS BERMS, FIBER ROLLS, OR FILTERS.
- LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- USE TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
- TRAP SEDIMENT ON-SITE, USING BMPs SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, SOIL BLANKETS OR MATS, COVERS FOR SOIL STOCK PILES, ETC.
- DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G., SWALES AND DIKES).
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.



- INLET PROTECTION WITH CURB INLET**
- NOTES:**
- INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - PRIOR TO INSTALLATION, CLEAR THE AREA AROUND EACH INLET OF OBSTRUCTIONS, INCLUDING ROCKS, CLOUDS, AND DEBRIS GRATER THAN 1-IN DIAMETER.
- 3 INLET PROTECTION/SEDIMENT BARRIER**
- NTS

EROSION & SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO SEPTEMBER 15 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. DURING THE NON-RAINY SEASON BEST MANAGEMENT PRACTICES (BMPs) MUST BE IMPLEMENTED DURING CONSTRUCTION WHICH INCLUDES, BUT IS NOT LIMITED TO: STABILIZED CONSTRUCTION ENTRANCE, TIRE WASH AREA AND INLET PROTECTION.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 09/23, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

DUST CONTROL NOTES

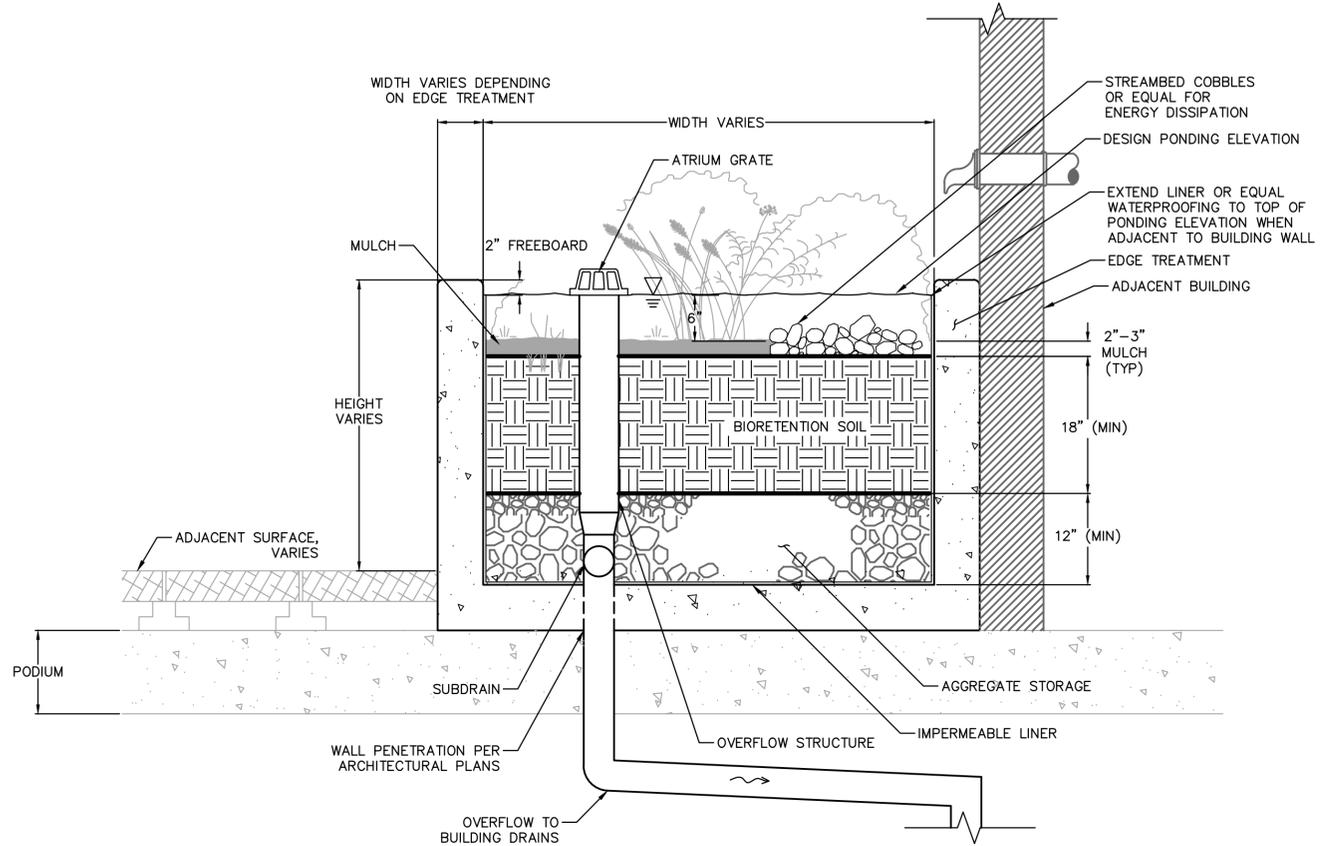
- ALL ACTIVE CONSTRUCTION AREAS SHALL BE WATERED AT LEAST TWICE DAILY.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED OR SHALL RETAIN AT LEAST TWO FEET OF FREEBOARD.
- ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITE SHALL BE EITHER PAVED, WATERED THREE TIMES DAILY, OR TREATED WITH NON-TOXIC SOIL STABILIZERS.
- ALL PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITE SHALL BE SWEEPED (WITH WATER SWEEPERS) DAILY.
- IF VISIBLE SOIL MATERIAL IS CARRIED ONTO PUBLIC STREETS, THE STREET SHALL BE SWEEPED (WITH WATER SWEEPERS) DAILY.

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
 435 E THIRD AVENUE
 SAN MATEO, CA 94401

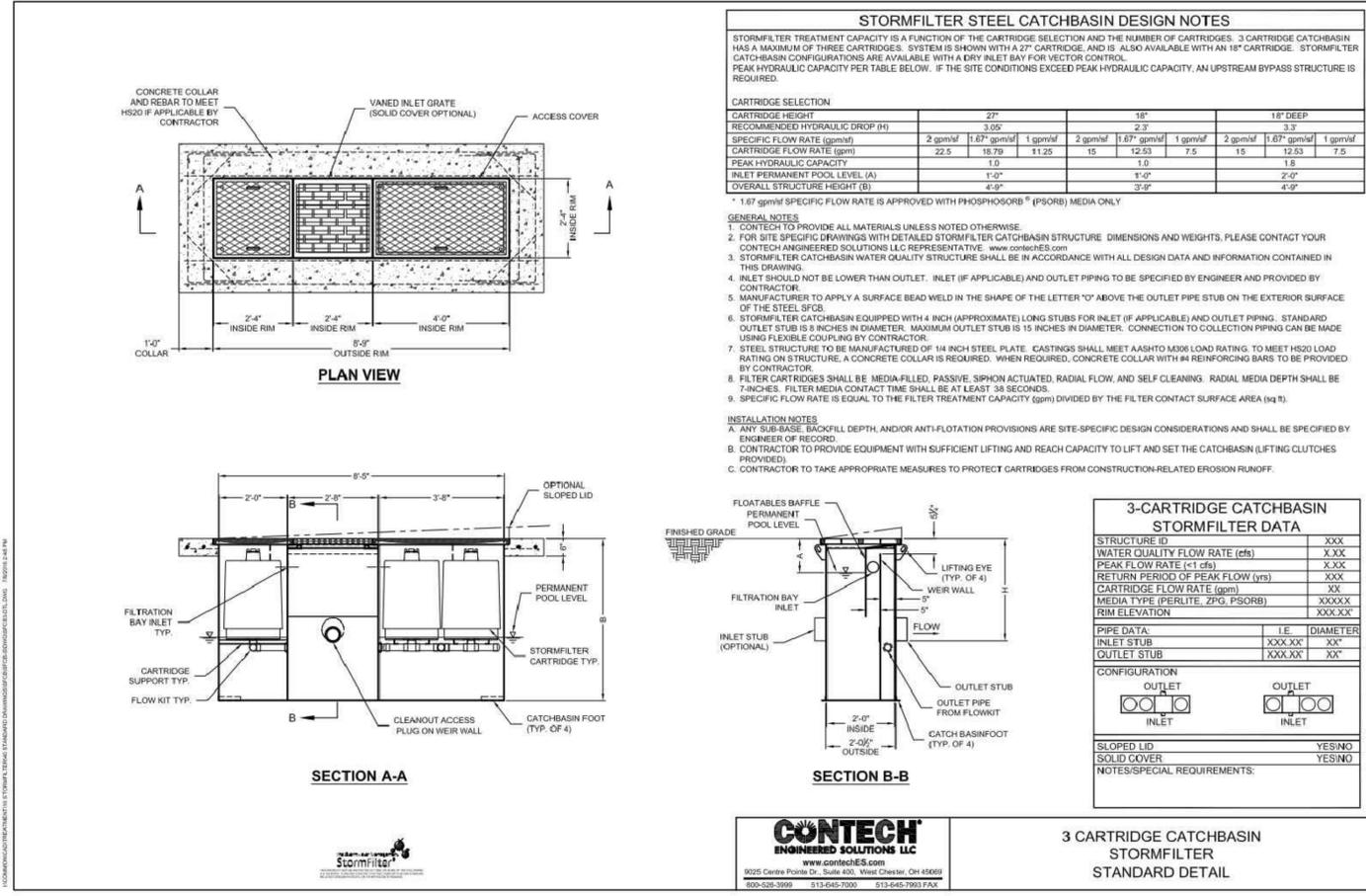
DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FORMAL PLANNING SUBMITTAL
04.04.2022	FORMAL PLANNING SUBMITTAL 2
06.22.2022	FORMAL PLANNING SUBMITTAL 3
08.10.2022	FORMAL PLANNING SUBMITTAL 4



EROSION CONTROL NOTES AND DETAILS



1 - FLOW-THRU PLANTER ON PODIUM
NTS



2 - MEDIA FILTER
NTS

In Association with:

PLANNING APPLICATION FOR:
WINDY HILL PROPERTY VENTURES
435 E THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
03.18.2021	PRELIM. PLANNING SUBMITTAL
05.14.2021	PRELIM. PLANNING REVISIONS
07.30.2021	PRELIM. PLANNING RESUBMITTAL
12.03.2021	FORMAL PLANNING SUBMITTAL
04.04.2022	FORMAL PLANNING SUBMITTAL 2
06.22.2022	FORMAL PLANNING SUBMITTAL 3
08.10.2022	FORMAL PLANNING SUBMITTAL 4



DETAILS

C7.0

PROJECT NO: 215293

